

2018-094  
Riverton Development Group, LLC  
District No. 2  
Planning Version

RESOLUTION NO. 29500

A RESOLUTION AUTHORIZING A SPECIAL EXCEPTIONS PERMIT FOR A RESIDENTIAL PLANNED UNIT DEVELOPMENT ON PROPERTY LOCATED AT 1100 LUPTON DRIVE, SUBJECT TO CERTAIN CONDITIONS.

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BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CHATTANOOGA, TENNESSEE, That it is hereby authorizing a Special Exceptions Permit for a Residential Planned Unit Development on property located at 1100 Lupton Drive.

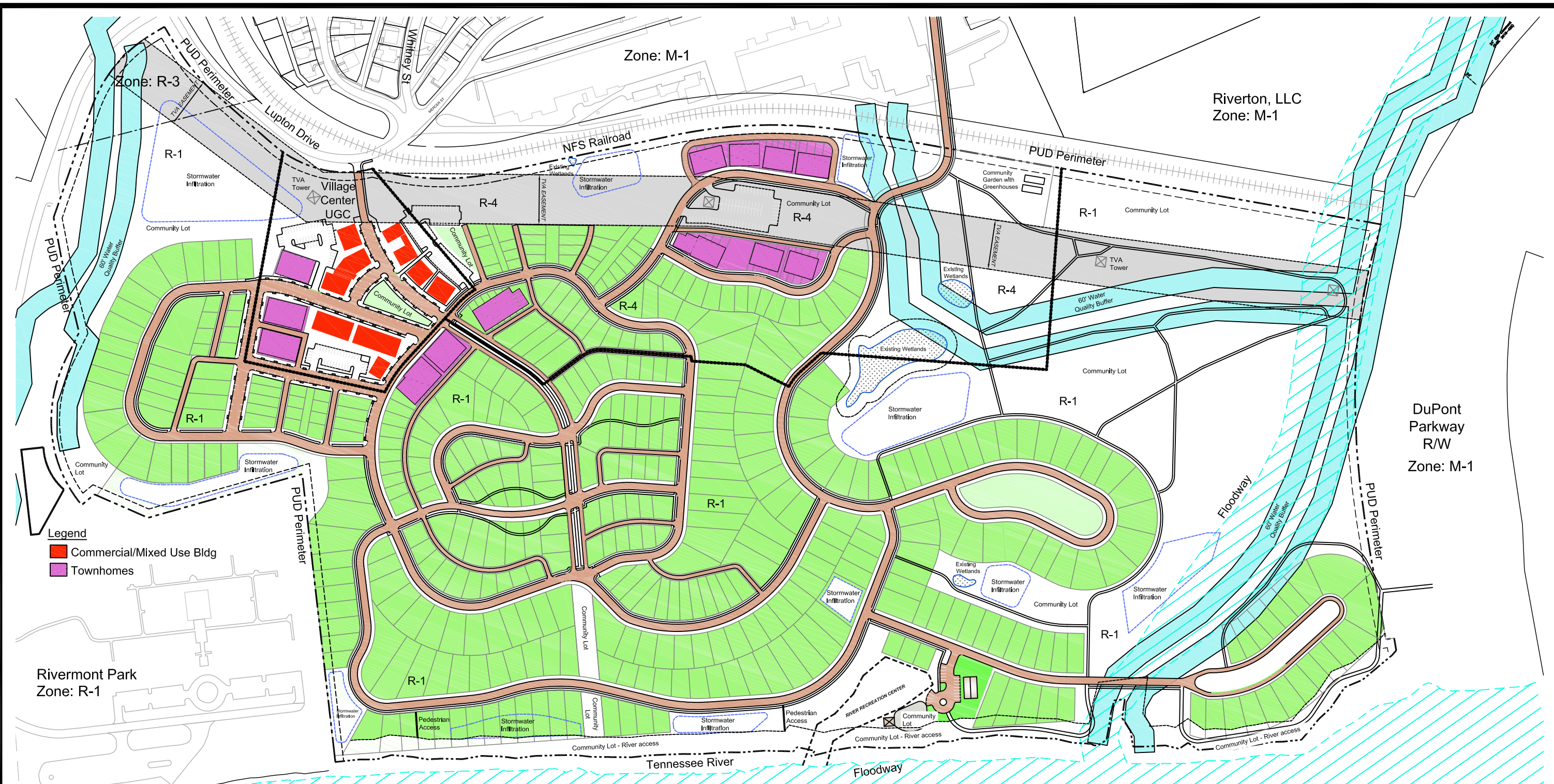
An unplatted tract of land located at 1100 Lupton Drive being the property described as Tract 5 in Deed Book 11247, Page 120, ROHC. Tax Map No. 118K-A-046.

This Special Exceptions Permit shall be subject to the following conditions:

- 1) Provide pedestrian easement to Rivermont Park and Riverwalk at such reasonable locations as shall be determined by developer-owner to be built to standards determined by developer-owner; and
- 2) Subject to a street network plan as approved by Chattanooga Department of Transportation.

ADOPTED: June 19, 2018

/mem



- Legend**
- Commercial/Mixed Use Bldg
  - Townhomes

<b>Total</b>	
Townhouses	65
Mixed Use Residential Units	70
Single-Family Detached	355
<b>Total</b>	<b>490</b>

**Setbacks** - Commercial and Residential - no setbacks  
**Building Separation** - minimum 10 ft  
**PUD Perimeter setback** - 25 ft

**Maximum building plate in UGC** - 12,000 sf  
**Maximum total non-residential building footprint in UGC** - 45,000 sf  
**Maximum building height in UGC** - 45 feet  
**Boutique Hotel** - max 25 rooms with sleeping accommodations - UGC

Pedestrian Access Points to River Front are approximate  
 Proposed Community Lot Area: 20.00 ac +/-

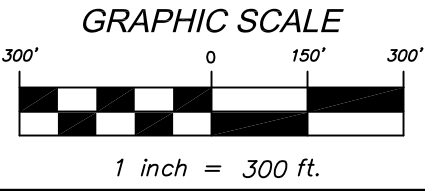
ZONING CASE 2018-093 & PUD 2018-094



<b>UGC Zone</b>	
Townhouses	17
Mixed Use Residential Units	70
<b>Total</b>	<b>87</b>
UGC Area 7.28 ac	
Res Density = 12 DU/A	

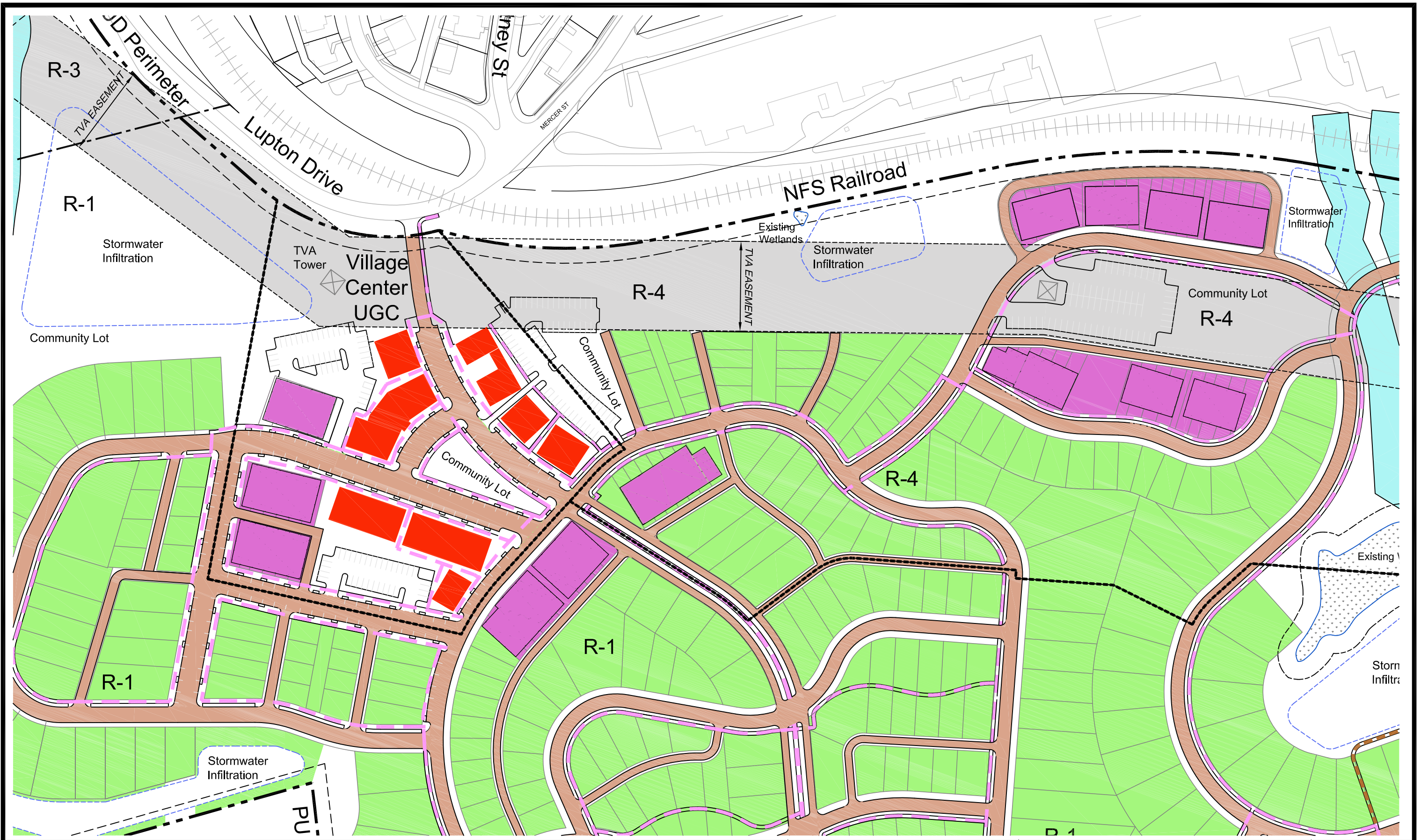
<b>R-1 Zone</b>	
Townhouses	9
Single-Family Detached	346
<b>Total</b>	<b>355</b>
R-1 Area 114.26 ac	
Res Density = 3.1 DU/A	

<b>R-4 Zone</b>	
Townhouses	39
Single-Family Detached	68
<b>Total</b>	<b>107</b>
R-4 Area 27.58 ac	
Res Density = 3.9 DU/A	

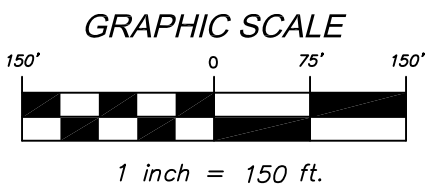


Rezoning Development Plan  
 for  
**Riverton Development**  
 CHATTANOOGA, TENNESSEE

Date: 03/27/2018  
 Revision: 04/12/2018  
 Revision: 05/11/2018  
 By: TJF  
 sheet #:  
**Ex-3**



- Single-Family Attached (Townhomes)
- Commercial
- Pedestrian Sidewalks



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Village District-UGC Plan  
 for  
**Riverton Development**  
 CHATTANOOGA, TENNESSEE

Date: 03/27/2018  
 Revision: 04/12/2018  
 Revision: 05/11/2018

By: TJF

sheet #:  
**Ex-5**