

RESOLUTION NO. 29560

A RESOLUTION AUTHORIZING THE ADMINISTRATOR FOR THE DEPARTMENT OF TRANSPORTATION TO ENTER INTO A PARTNERSHIP AGREEMENT WITH SEAFORD INVESTMENTS, LLC, PROJECT NO. T-18-001-812, FOR THE MOXY HOTEL LOCATED AT 1220 KING STREET AND TO ACCEPT A CONTRIBUTION OF SEVENTEEN THOUSAND SEVEN HUNDRED EIGHT AND 11/100 DOLLARS (\$17,708.11) TOWARDS THE COST OF SEVEN (7) PEDESTRIAN LIGHT POLES, LUMINAIRES, CONDUITS, AND INSTALLATION.

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BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CHATTANOOGA,

That it is hereby authorizing the Administrator for the Department of Transportation to enter into a Partnership Agreement with Seaford Investments, LLC, Project No. T-18-001-812, for the Moxy Hotel located at 1220 King Street and to accept a contribution of \$17,708.11 towards the cost of seven (7) pedestrian light poles, luminaires, conduits, and installation.

ADOPTED: July 24, 2018

/mem

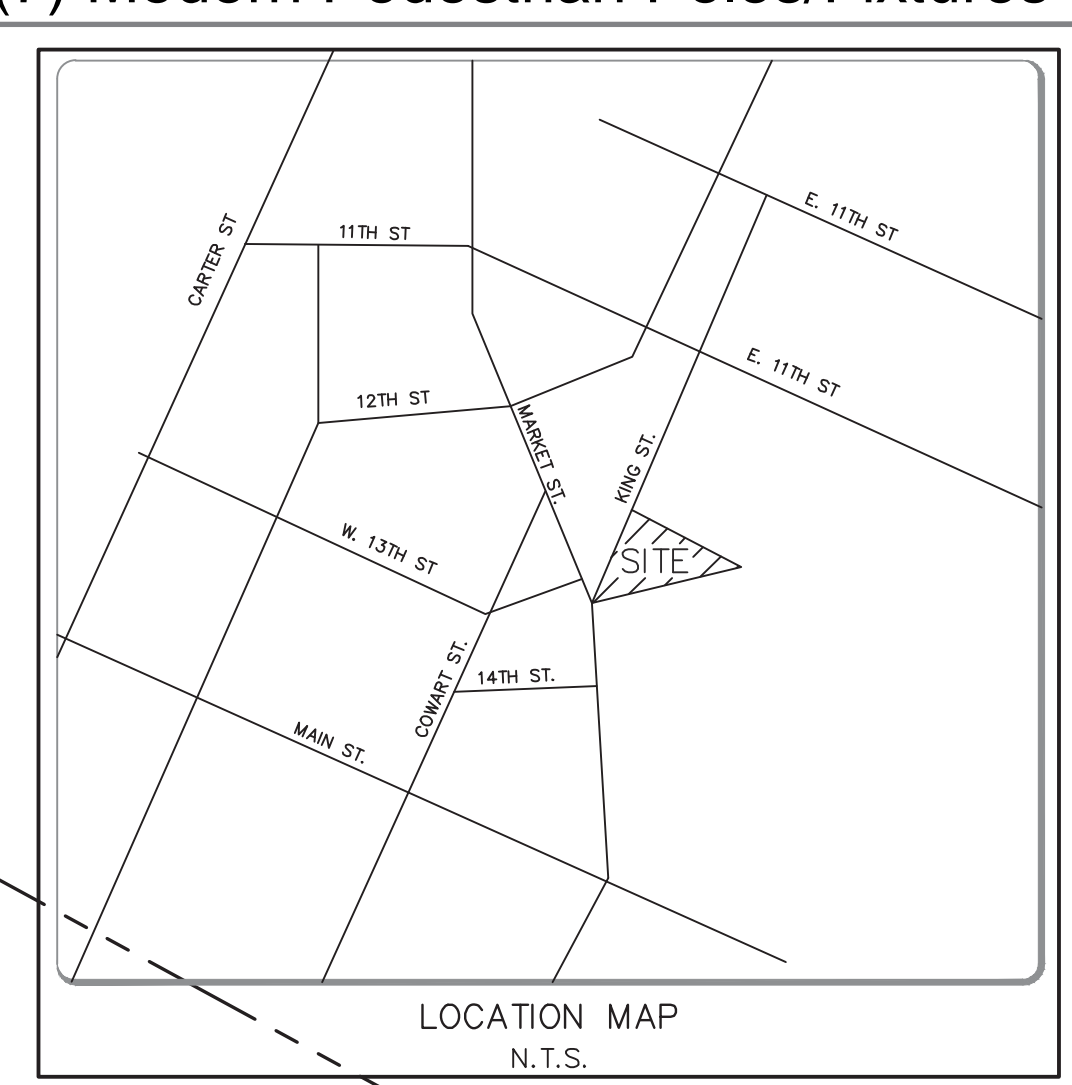
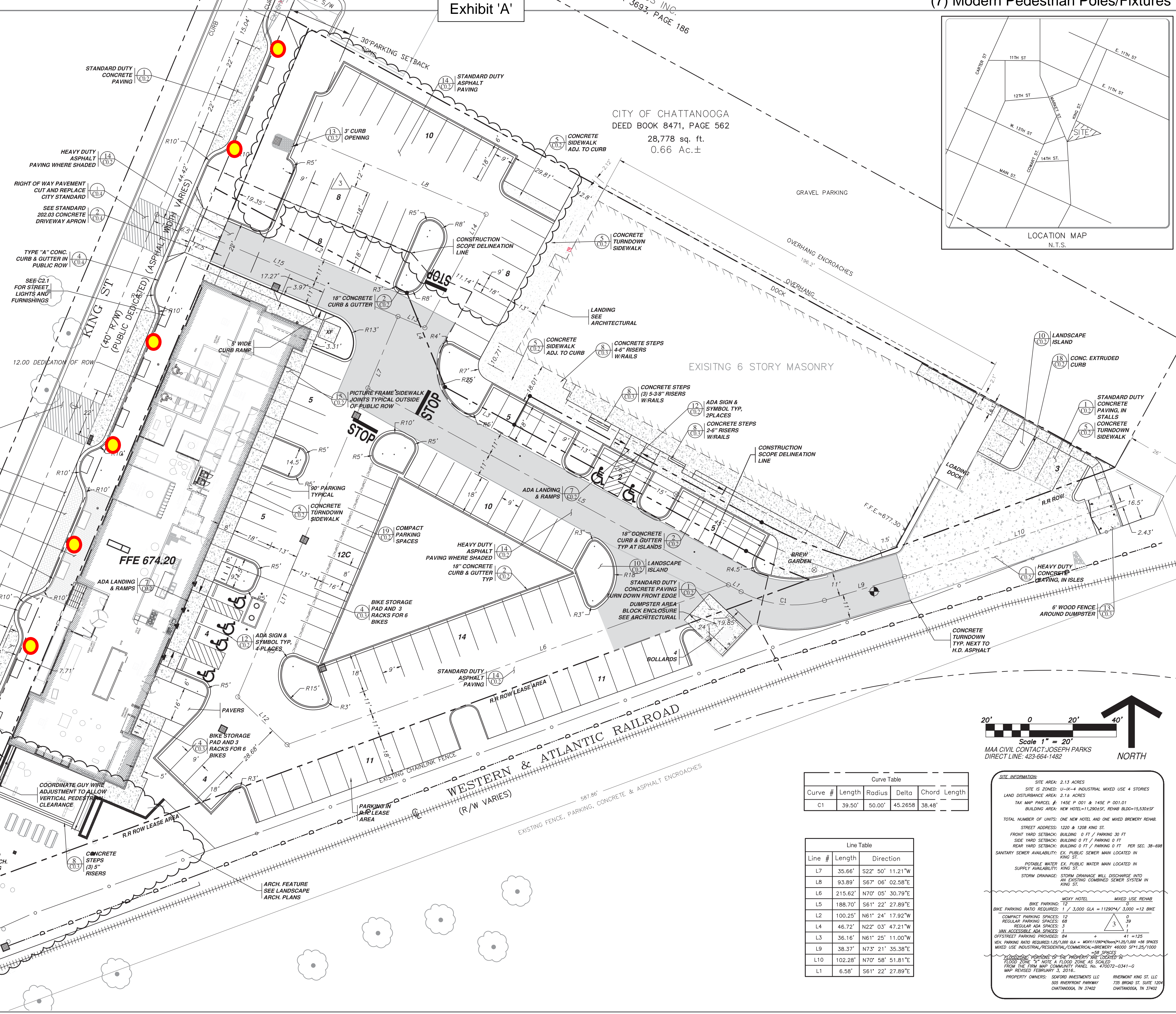


**LEGEND**

---	Ex. Curb
---	Ex. Centerline
---	Ex. Fence
---	Ex. Water Line
---	Ex. Fire Line
---	Ex. Irrigation Line
---	Ex. Storm Drainage Line
---	Ex. Sanitary Sewer Line
---	Ex. Sanitary Sewer Force Main
---	Ex. Swale Centerline
---	Ex. Ditch Centerline
---	Ex. Gas Line
---	Ex. Underground Electrical
---	Ex. Underground Cable TV
---	Ex. Underground Fiber Optics
---	Ex. Underground Telephone
---	PROPERTY LINE
---	BUILDING LINE
---	EASEMENT LINE
---	BUILDING SETBACK LINE
---	LANDSCAPE BUFFER LINE
---	LOT LINE
---	ROW LINE
---	CURB
---	CENTERLINE
---	SPLIT ZONING LINE (w/in PROPERTY)
---	PROP. FENCE LINE
---	PROP. SILT FENCE
---	PROP. LIMITS OF CONSTRUCTION
---	PROPOSED TREE PROTECTION
---	PROPOSED SWALE CENTERLINE
---	PROPOSED DITCH CENTERLINE
---	PROP. WATER LINE
---	PROP. DRY FIRE LINE
---	PROP. FIRE LINE
---	PROP. IRRIGATION LINE
---	PROP. GAS LINE
---	PROP. STORM DRAINAGE LINE
---	PROP. SANITARY SEWER LINE
---	PROP. SANITARY SEWER FORCE MAIN
---	PROP. OVERHEAD ELECT. OR UTILITY LINE
---	PROP. UNDERGROUND ELECTRICAL
---	PROP. UNDERGROUND CABLE TV
---	PROP. UNDERGROUND FIBER OPTICS
---	PROP. UNDERGROUND TELEPHONE

**ABBREVIATIONS**

SSE - NEW PUBLIC SANITARY SEWER EASEMENT (SEE PLAN FOR WIDTH)  
 SE - NEW DRAINAGE EASEMENT (SEE PLAN FOR WIDTH)  
 WE - NEW PUBLIC WATER EASEMENT (SEE PLAN FOR WIDTH)  
 LA - BUTTER - NEW LANDSCAPE BUFFER (SEE PLAN FOR WIDTH AND TYPE)  
 FYSB - FRONT YARD SETBACK  
 RYSB - REAR YARD SETBACK  
 FFE - FINISHED FLOOR ELEVATION  
 TM - FINISH GRADE AT TOP OF RETAINING WALL  
 BW - FINISHED GROUND GRADE AT BOTTOM OF RETAINING WALL (GRASS GRADE)  
 TG - FINISH GRADE AT TOP OF CURB  
 BCG - FINISHED GRADE AT BOTTOM OF CURB  
 SCS - STORM DRAINAGE SANITARY SEWER CLEAN-OUT  
 DS - ROOF DOWNSPOUT CONNECTION



**REVISIONS**

1	CITY REVIEW COMMENTS	DATE: 9-5-17
2	CITY REVIEW COMMENTS FOR GRADES AND GEOMETRY IN ROW	DATE: 9-25-17
3	POST PERMIT ISSUANCE REVISION #1	DATE: 10-17-17
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11		

Moxy Hotel  
at  
1220 King St.  
Chattanooga, TN

for

Hiren Desai  
505 Riverfront Parkway  
Chattanooga, TN 37402  
423-664-5959

King St. Building  
Renovation  
at  
1208 King St.  
Chattanooga, TN

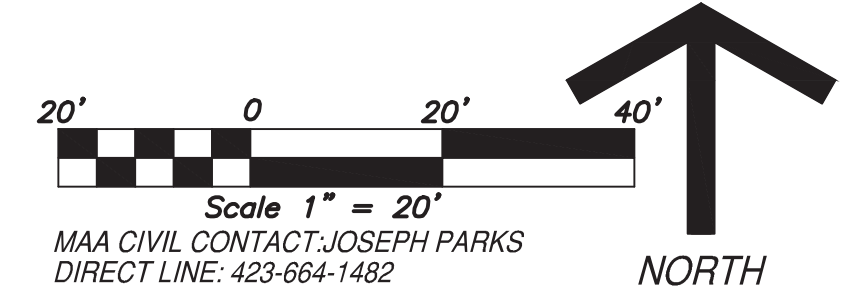
for

Rivermont King St. LLC  
735 Broad St., Suite 1204  
Chattanooga, TN 37402

**MA & A**

**March Adams & Associates**  
Consulting Engineers

310 Dodds Ave.  
P.O. Box 3689  
Chattanooga, Tennessee 37404  
PH: (423)698-6675



**Curve Table**

Curve #	Length	Radius	Delta	Chord Length
C1	39.50'	50.00'	45.2658	38.48'

**Line Table**

Line #	Length	Direction
L7	35.66'	S22° 50' 11.21"W
L8	93.89'	S67° 06' 02.58"E
L6	215.62'	N70° 05' 30.79"E
L5	188.70'	S61° 22' 27.89"E
L2	100.25'	N61° 24' 17.92"W
L4	46.72'	N22° 03' 47.21"W
L3	36.16'	N61° 25' 11.00"W
L9	38.37'	N73° 21' 35.38"E
L10	102.28'	N70° 58' 51.81"E
L1	6.58'	S61° 22' 27.89"E

**SITE INFORMATION:**

SITE AREA: 0.13 ACRES  
 SITE IS ZONED: U-1-K-4 INDUSTRIAL MIXED USE 4 STORIES  
 LAND DISTURBANCE AREA: 2.1± ACRES  
 TAX MAP PARCEL #: 145E P 001 & 145E P 001.01  
 BUILDING AREA: NEW HOTEL=11,290±SF, REHAB BLDG=15,530±SF

TOTAL NUMBER OF UNITS: ONE NEW HOTEL AND ONE MIXED BREWERY REHAB.

STREET ADDRESS: 1220 & 1208 KING ST.  
 FRONT YARD SETBACK: BUILDING 0 FT / PARKING 30 FT  
 SIDE YARD SETBACK: BUILDING 0 FT / PARKING 0 FT  
 REAR YARD SETBACK: BUILDING 0 FT / PARKING 0 FT PER SEC. 38-698

SANITARY SEWER AVAILABILITY: EX. PUBLIC SEWER MAIN LOCATED IN KING ST.  
 POTABLE WATER EX. PUBLIC WATER MAIN LOCATED IN SUPPLY AVAILABILITY: KING ST.  
 STORM DRAINAGE: STORM DRAINAGE WILL DISCHARGE INTO AN EXISTING COMBINED SEWER SYSTEM IN KING ST.

**MOXY HOTEL**      **MIXED USE REHAB**

BIKE PARKING: 12      9  
 BIKE PARKING RATIO REQUIRED: 1 / 3,000 GLA = 11290/3,000 = 12 BIKE

COMPACT PARKING SPACES: 12      9  
 REGULAR PARKING SPACES: 48      39  
 REGULAR ADA SPACES: 3      7  
 VAN ACCESSIBLE ADA SPACES: 1      1

OFF-STREET PARKING PROVIDED: 84      41 = 125  
 MIN. PARKING RATIO REQUIRED: 125/1,000 GLA = 12500/10000 = 1.25/1.00 = 1.25 SPACES  
 MIXED USE INDUSTRIAL/RESIDENTIAL/COMMERCIAL/BREWERY 46000 SF ± 1.25/1000

**FLOODING:** PORTIONS OF THE PROPERTY ARE LOCATED IN FLOOD ZONE "A" NOTE A FLOOD ZONE AS SHOWN FROM THE FIRM MAP COMMUNITY PANEL No. 470072-0341-G MAP REVISED FEBRUARY 3, 2016.

PROPERTY OWNERS: SEAFORD INVESTMENTS LLC      RIVERMONT KING ST. LLC  
 505 RIVERFRONT PARKWAY      735 BROAD ST. SUITE 1204  
 CHATTANOOGA, TN 37402      CHATTANOOGA, TN 37402

**PERMIT REVIEW**

DRAWN: JLP  
 CHECKED: SBB  
 JOB No. 16359  
 DATE: 6-28-2017

**C-2**

**SITE STAKING PLAN**