

Case # HZ-20-156

4015 Saint Elmo Avenue

Neighborhood: Saint Elmo

Historic Structure: Yes, built about 1889 - 1904

Listed as a Contributing Structure: Yes, this property is listed on the National Registry Historic Places Contributing Structure Inventory List for the Saint Elmo Historic District.

Description of proposed project:

- Repair and replace existing wood siding
- Original window removal and reuse in other openings on side of structure. Window openings changing in size and placement, original windows reused in new openings (North Side of structure) - all wood windows proposed
- Original chimney to be removed
- Roof repaired or replaced

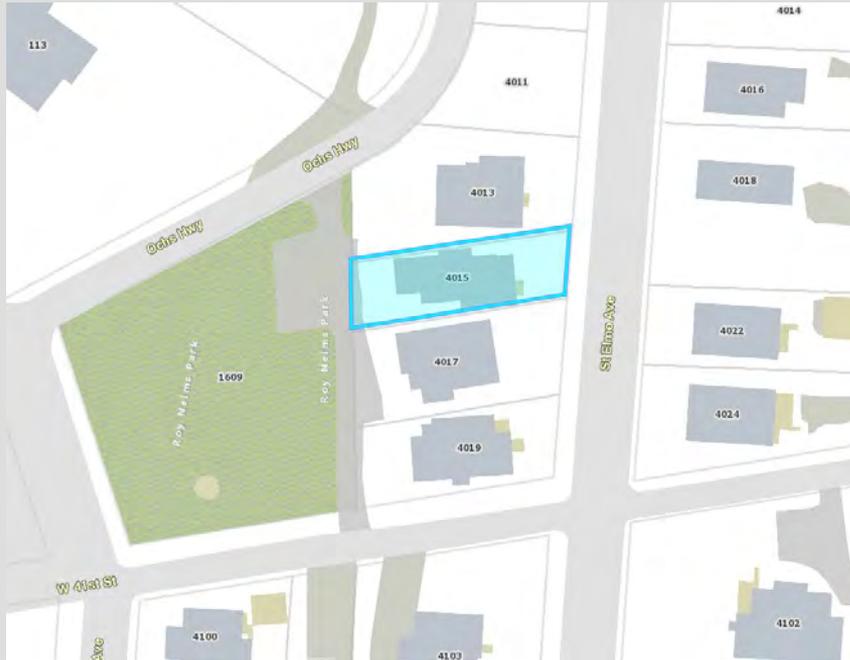


(114) 4015 St. Elmo Avenue (Between 1889–1904): Rectangular, one story, frame, irregular hipped roof with dormers, transom and sidelights at door.

Historic Zoning History: None

Map Location

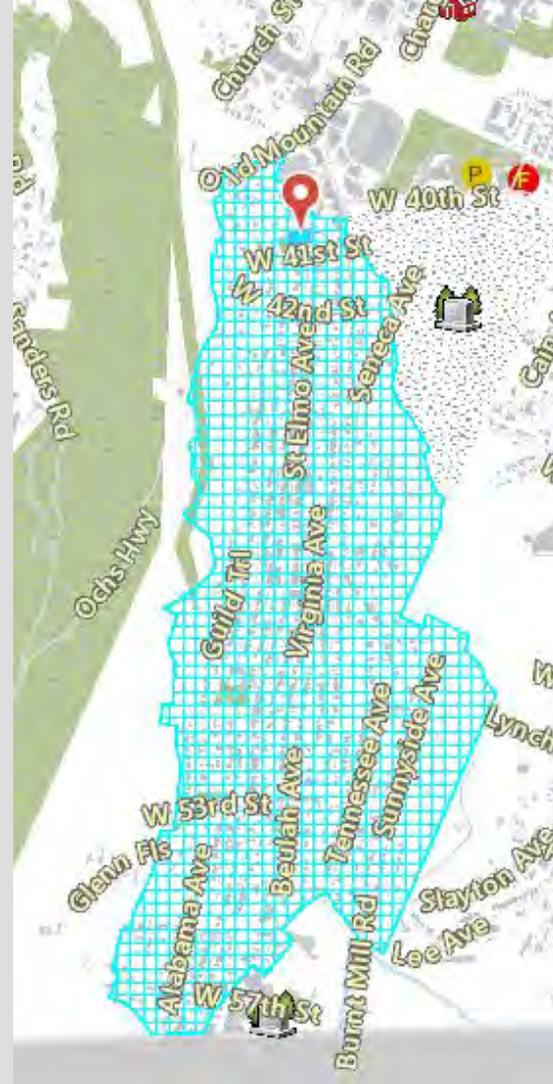
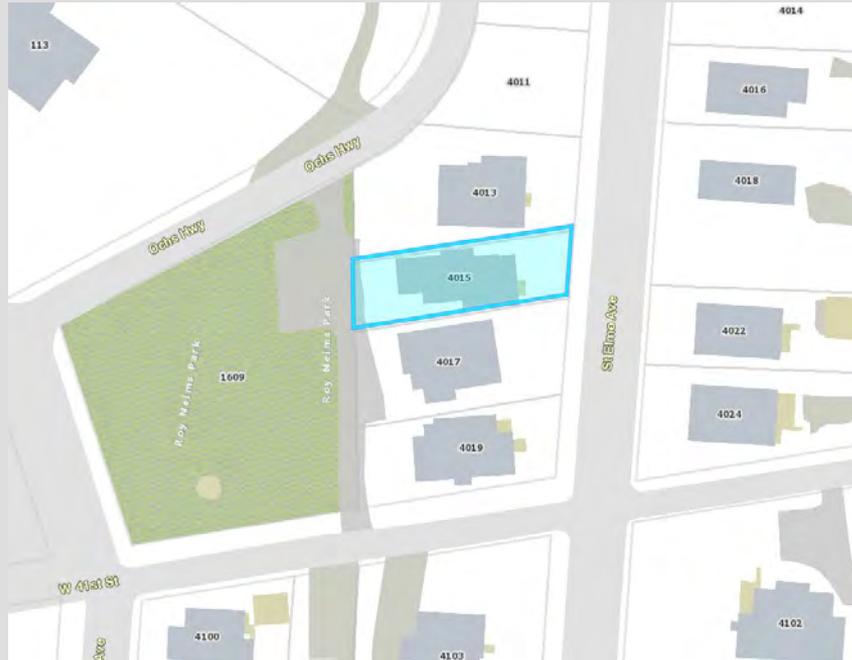
Case # HZ-20-156
4015 Saint Elmo Avenue



Map Location

Case # HZ-20-156

4015 Saint Elmo Avenue



Property Photos

Case # HZ-20-156

4015 Saint Elmo Avenue



Property Photos

Case # HZ-20-156
4015 Saint Elmo Avenue



Property Photos

Case # HZ-20-156

4015 Saint Elmo Avenue



FRONT (EAST) ELEVATION



FRONT (EAST) ELEVATION



Property Photos

Case # HZ-20-156
4015 Saint Elmo Avenue

REPLACE WINDOWS TO MATCH EXISTING
TO ACCOMMODATE FUTURE KITCHEN
COUNTERTOP EXTENSION



SIDE (SOUTH) ELEVATION

CHIMNEY TO BE REMOVED
WINDOW TO BE RELOCATED



SIDE (NORTH) ELEVATION

Property Photos

Case # HZ-20-156

4015 Saint Elmo Avenue



SIDE (SOUTH) ELEVATION



REAR (WEST) ELEVATION

REPLACE WINDOWS TO MATCH EXISTING
TO ACCOMMODATE FUTURE KITCHEN
COUNTERTOP EXTENSION



SIDE (SOUTH) ELEVATION

CHIMNEY TO BE REMOVED
WINDOW TO BE RELOCATED



SIDE (NORTH) ELEVATION

Property Photos

Case # HZ-20-156
4015 Saint Elmo Avenue



SIDE REAR (SOUTH) ELEVATION



SIDE REAR (NORTH) ELEVATION



FRONT (EAST) ELEVATION



FRONT (EAST) ELEVATION

EXTERIOR
PHOTOGRAPHS

SURACE ARCHITECTURE
2020/09/18

P0

Neighboring Photos

Case # HZ-20-156

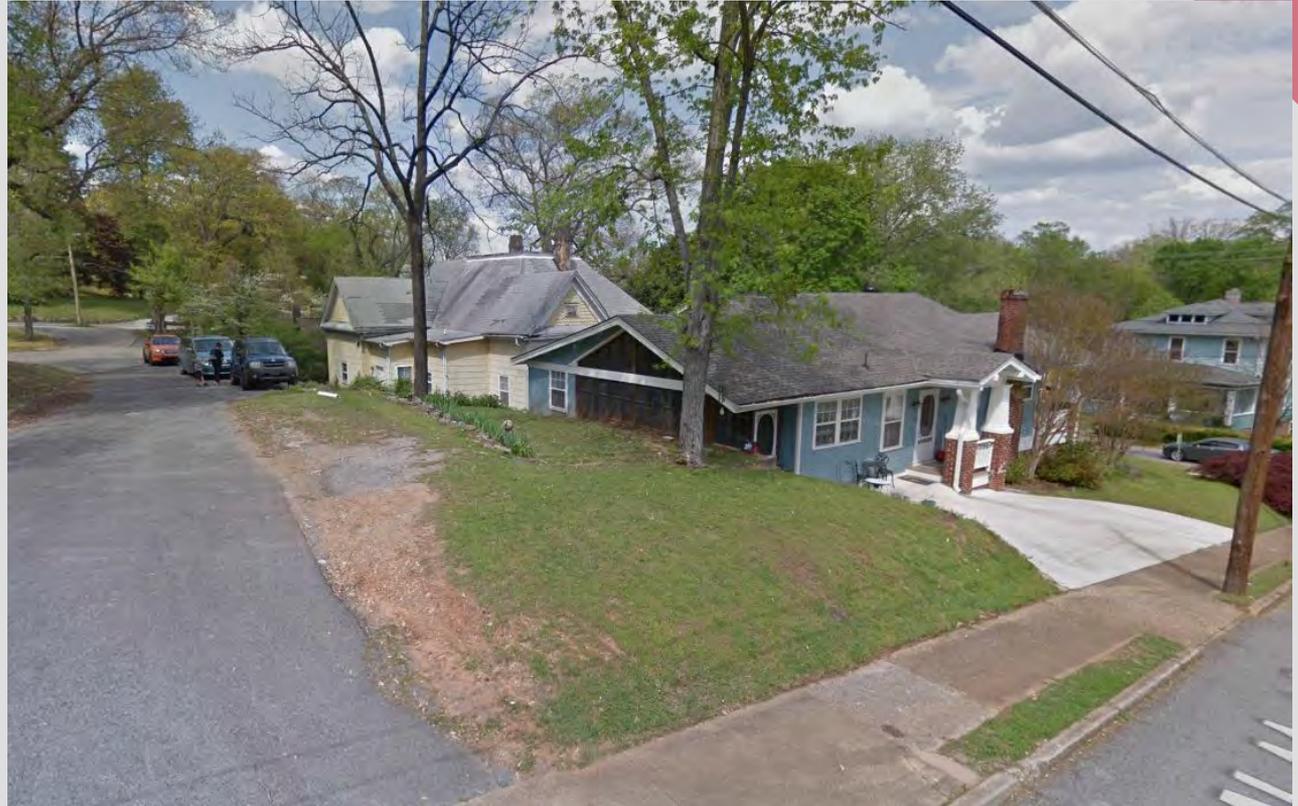
4015 Saint Elmo Avenue



Neighboring Photos

Case # HZ-20-156

4015 Saint Elmo Avenue



Application Information



SIDE (SOUTH) ELEVATION



REAR (WEST) ELEVATION



SIDE REAR (SOUTH) ELEVATION



SIDE REAR (NORTH) ELEVATION

REPLACE WINDOWS TO MATCH EXISTING
TO ACCOMMODATE FUTURE KITCHEN
COUNTERTOP EXTENSION



SIDE (SOUTH) ELEVATION

CHIMNEY TO BE REMOVED
WINDOW TO BE RELOCATED



SIDE (NORTH) ELEVATION



FRONT (EAST) ELEVATION

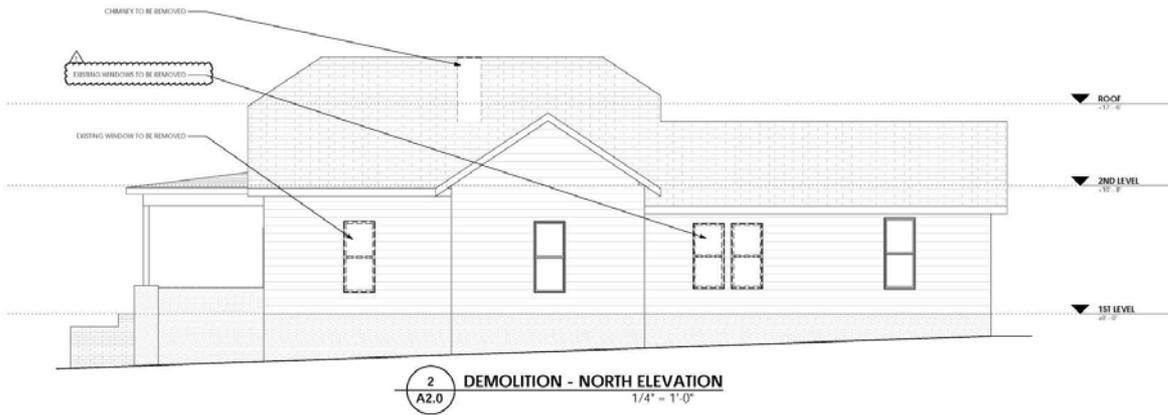


FRONT (EAST) ELEVATION

EXTERIOR
PHOTOGRAPHY

SURACE ARCHITECTURE
2025/09/15

P0



2
A2.0 **DEMOLITION - NORTH ELEVATION**
1/4" = 1'-0"

ISSUE	DATE
1. INITIAL ISSUE	2022/04/10
2. DESIGN REVIEW	2022/04/10

ARCHITECTURE & DESIGN
 405 MANUFACTURERS RD
 CHATTANOOGA, TN 37405
 SURFACEARCH.COM
 423.386.5005



1
A2.0 **NORTH ELEVATION**
1/4" = 1'-0"

TUDINI RESIDENCE
RENOVATION
 4015 ST. ELMO AVENUE
 CHATTANOOGA, TENNESSEE 37409

PROJECT #: 2021
 DRAWN BY: JLR
 SCALE: 1/4" = 1'-0"
 SHEET TITLE:
 EXTERIOR ELEVATIONS

A2.0



2
A2.0 **DEMOLITION - NORTH ELEVATION**
1/4" = 1'-0"

INFILL EXISTING OPENING WITH
CONSTRUCTION TO MATCH EXISTING

EXISTING WINDOWS TO BE RELOCATED



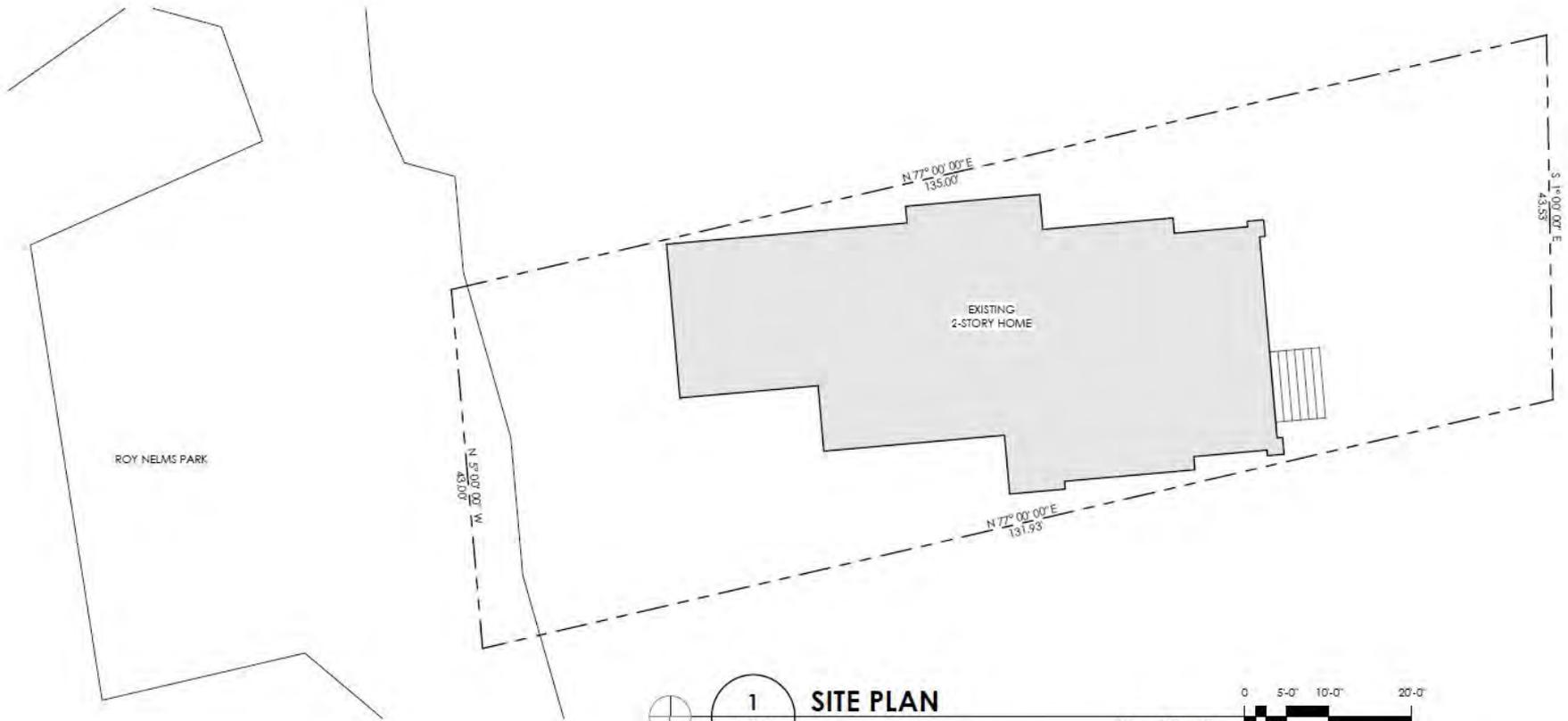
2ND LEVEL
+10'-8"

1ST LEVEL
±0'-0"

1
A2.0

NORTH ELEVATION

1/4" = 1'-0"



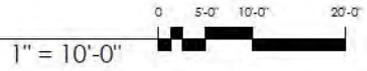
ROY NELMS PARK

EXISTING
2-STORY HOME



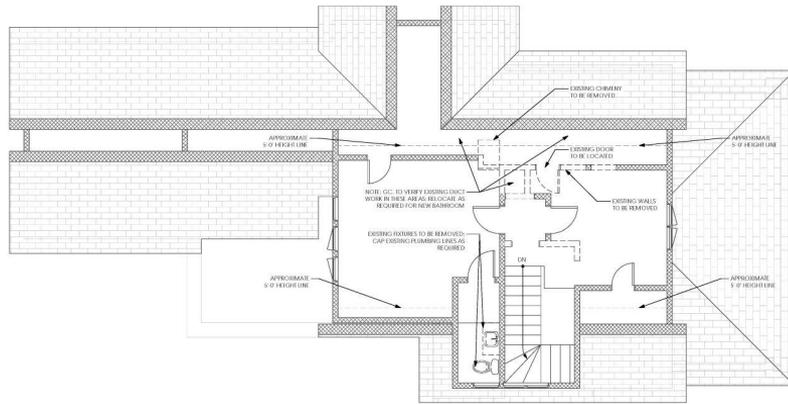
1
A0.0

SITE PLAN

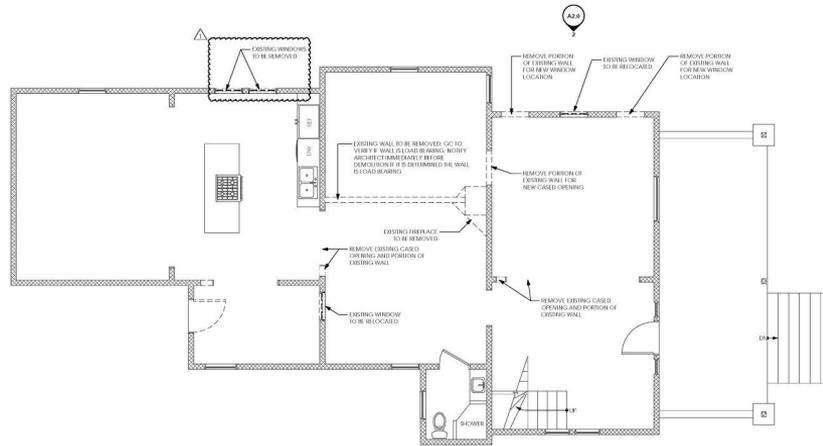


GENERAL DEMOLITION NOTES

1. THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION, CONSTRUCTION OR SPECIAL REMOVE AND REINSTALL ITEMS AS REQUIRED TO COMPLETE THE JOB.
2. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A WORK SHEET OF THE LATEST REVISIONS AVAILABLE WITH ALL EXISTING CONDITIONS FOR IDENTIFYING POSSIBLE CRITICAL ITEMS NOT ADDRESSED OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL, RELOCATION.
3. CONTRACTOR SHALL ALSO CHECK AND VERIFY ALL EXISTING WAIVER, PERMITS AND ALL OTHER CODES WHICH MAY PERTAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND REBATION OF WORK.
4. THE DEMOLITION WORK SHALL INVOLVE INTERVENTIONS IN AREAS OUTSIDE OF THE SHOWN SCOPE OF WORK INCLUDING WORK ABOVE AND BELOW THE FLOOR LEVELS WHERE THE SPECIAL, IT SHALL BE FOR THE WORK NOT RECORDED ON THIS DRAWING. MECHANICAL, ELECTRICAL, COMMUNICATIONS, ETC. ANY SUCH WORK SHALL BE RECORDED ON ALL CONTRACTS, LEVELS, FLOOR AND FLOORING TO BE DEMOLISHED. THE AREA TO BE DEMOLISHED SHALL BE CORRELATED WITH ALL APPROPRIATE BILLING AND SAFETY CODE REQUIRES, AND TO MEET CONSTRUCTION APPROVAL. ALL WORK AS DESCRIBED IN THIS WORK SHALL BE INCLUDED AS PART OF THE BASE CONTRACT PRICE.
5. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING WALLS OR FLOORING AND SO STRUCTURAL INTEGRITY OF STRUCTURE IS NOT COMPROMISED. CONTRACTOR SHALL REMOVE EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY SCOPE OF WORK. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT AREAS AND TO PRESERVE THE REQUIRED FIRE RATING INTEGRITY WHERE APPLICABLE.
6. LOCATION OF DEMOLITION SHALL BE PROCEEDED SUCH A MANNER AS NOT TO INTERFERE WITH THE USE AND CONVENIENCE OF THE PUBLIC AND THOSE AROUND THE SITE.
7. WHEN MATERIALS ARE REMOVED FROM DEMOLITION OPERATIONS SHALL BE REMOVED FROM SITE AS SOON AS POSSIBLE AND SHALL NOT BE RELOCATED ACCORDING TO FEDERAL, STATE OR MUNICIPAL LAWS WILL BE AT DISCRETION OF THE CONTRACTOR.
8. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR REINSTALLATION OF NEW WORK AND/OR MATERIALS, AS BEARERS TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULED FINISHES.
9. KEEP REMAINS CLEAN AT ALL TIMES ENSURING THAT THERE IS NO LOOSE MATERIALS OR DEBRIS WHICH MAY CAUSE INJURY.
10. DEMOLISH & REMOVE EXISTING CONDITIONS AS SHOWN BY DASHED LINES OR NOTES UNLESS OTHERWISE NOTED.
11. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. USE WRITTEN DIMENSIONS ONLY AND VERIFY PRINTED.
12. CONTRACTOR SHALL CHECK AND VERIFY ALL NOTES AND DIMENSIONS BEFORE PROCEEDING WITH WORK.
13. ALL WORK TO BE DONE IN ACCORDANCE TO THE LATEST EDITION OF THE APPLICABLE BUILDING CODES AS ADOPTED BY THE LOCAL AUTHORITY.
14. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING ITEMS THAT ARE SCHEDULED TO BE RELOCATED AND/OR REUSED. PROTECT AND/OR REUSE ITEMS ON SITE.
15. HAZARDOUS MATERIALS, IF IS NOT SPECIFIED SHALL HAZARDOUS MATERIALS SHALL BE ENCOUNTERED IN THE WORK. A WARNING SUBJECT OF CONFIRMING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT EXPOSE AND IMMEDIATELY NOTIFY THE ARCHITECT AND THE OWNER.
16. REMOVE ALL EXISTING MATERIALS AND HANG LINES TO REMAIN IN AREAS WHERE DEMOLITION WILL OCCUR.
17. WHERE REMOVAL OF PORTIONS RESULT IN ADJACENT SPACES BECOMING ONE, REMOVE EXISTING WALLS AND BRICK TO PROVIDE SMOOTH PLACES WITHOUT BREAK, SEPS, OR BRICKS.
18. REMOVE EXISTING CONDITIONS TO REMAIN ARE ALLOWED TO ACCOMMODATE NEW EQUIPMENT AND REPLACE CEILING SYSTEM WITH NEW CONSTRUCTION TO MATCH.
19. ALL EXISTING HANGERS IN CEILING WALLS AND/OR BRICKS AND THOSE BEING REMOVED FROM THE CONSTRUCTION PROJECT SHALL BE ELIMINATED AND SURFACE FINISHED SMOOTH AND LEVEL WITH ADJACENT FLOOR SURFACES.



2 DEMOLITION - 2ND LEVEL PLAN
A0.1 PHASE 2
 1/4" = 1'-0"



1 DEMOLITION - 1ST LEVEL PLAN
A0.1 PHASE 1
 1/4" = 1'-0"

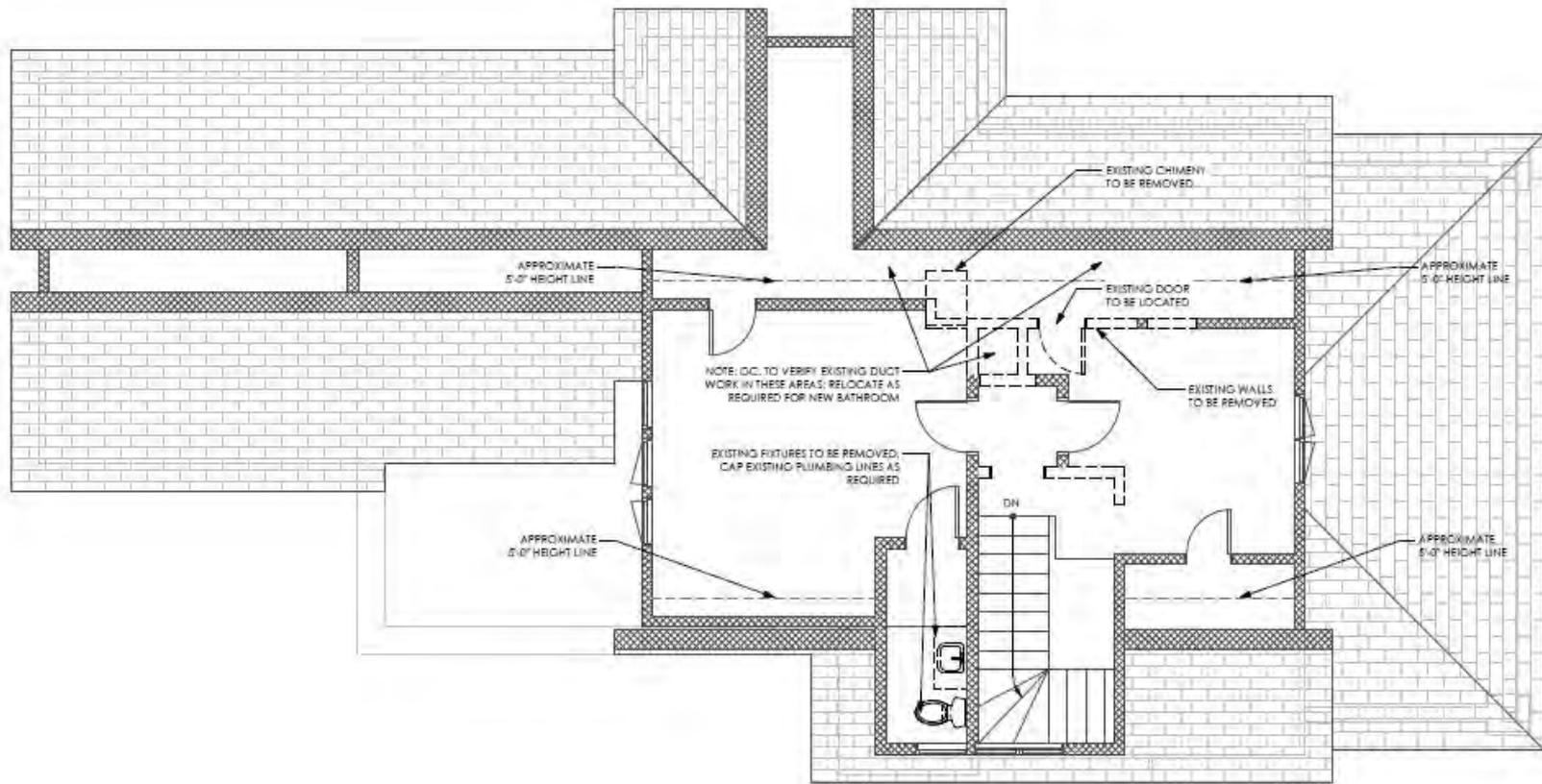
ISSUE	DATE
1	2021.07.01
2	2021.07.01

SURFACE
 ARCHITECTURE & DESIGN
 208 MANUFACTURERS RD
 CHATTANOOGA, TN 37405
 SURFACEARCH.COM
 423.385.5005

TUDINI RESIDENCE
 RENOVATION
 4015 ST. ELMO AVENUE
 CHATTANOOGA, TENNESSEE 37409

PROJECT #:	2021
DRAWN BY:	JAR
SCALE:	1/4" = 1'-0"
SHEET TITLE:	DEMOLITION PLAN

A0.1



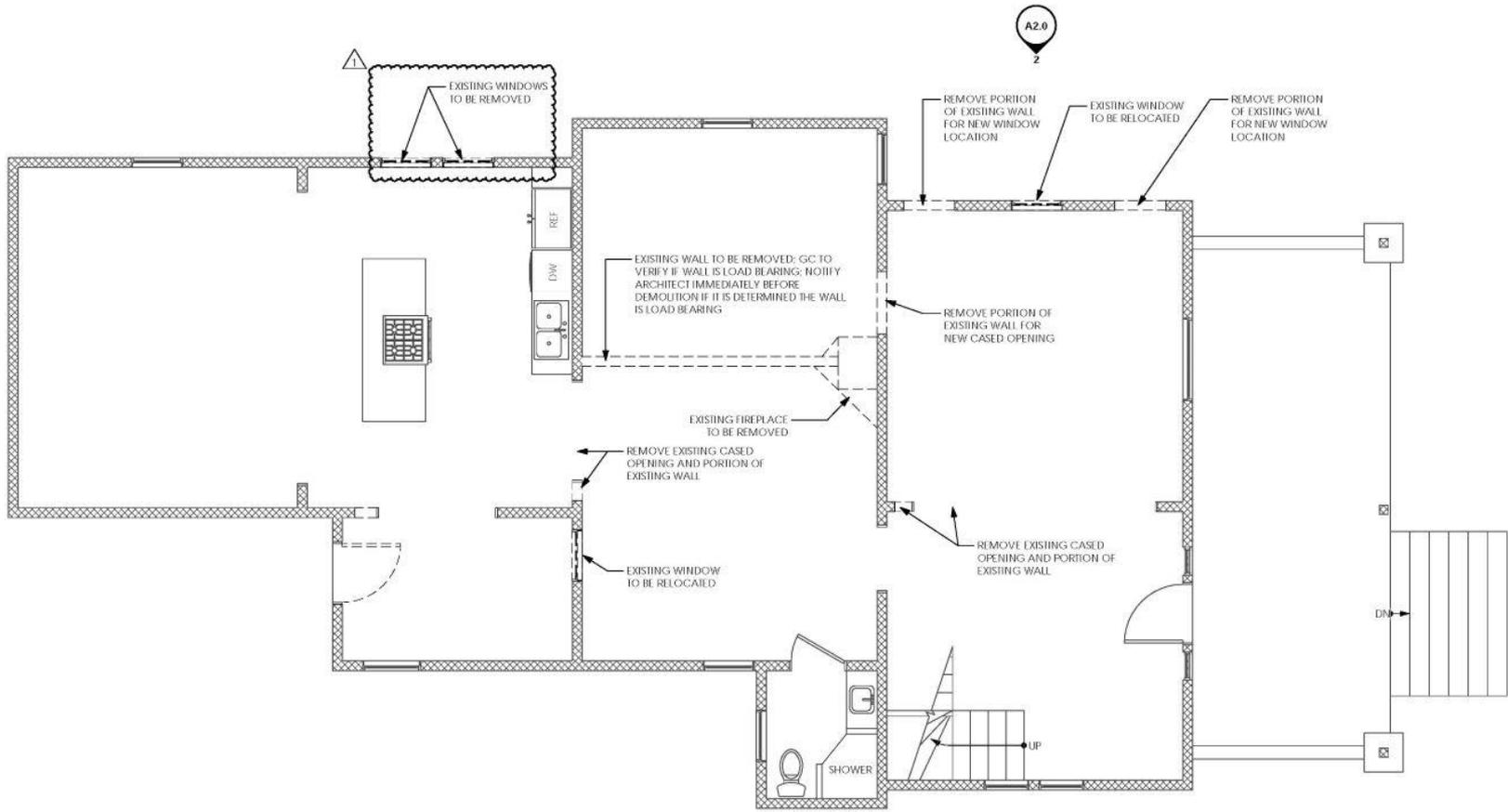
2
A0.1

DEMOLITION - 2ND LEVEL PLAN
PHASE 2

1/4" = 1'-0"



A2.0

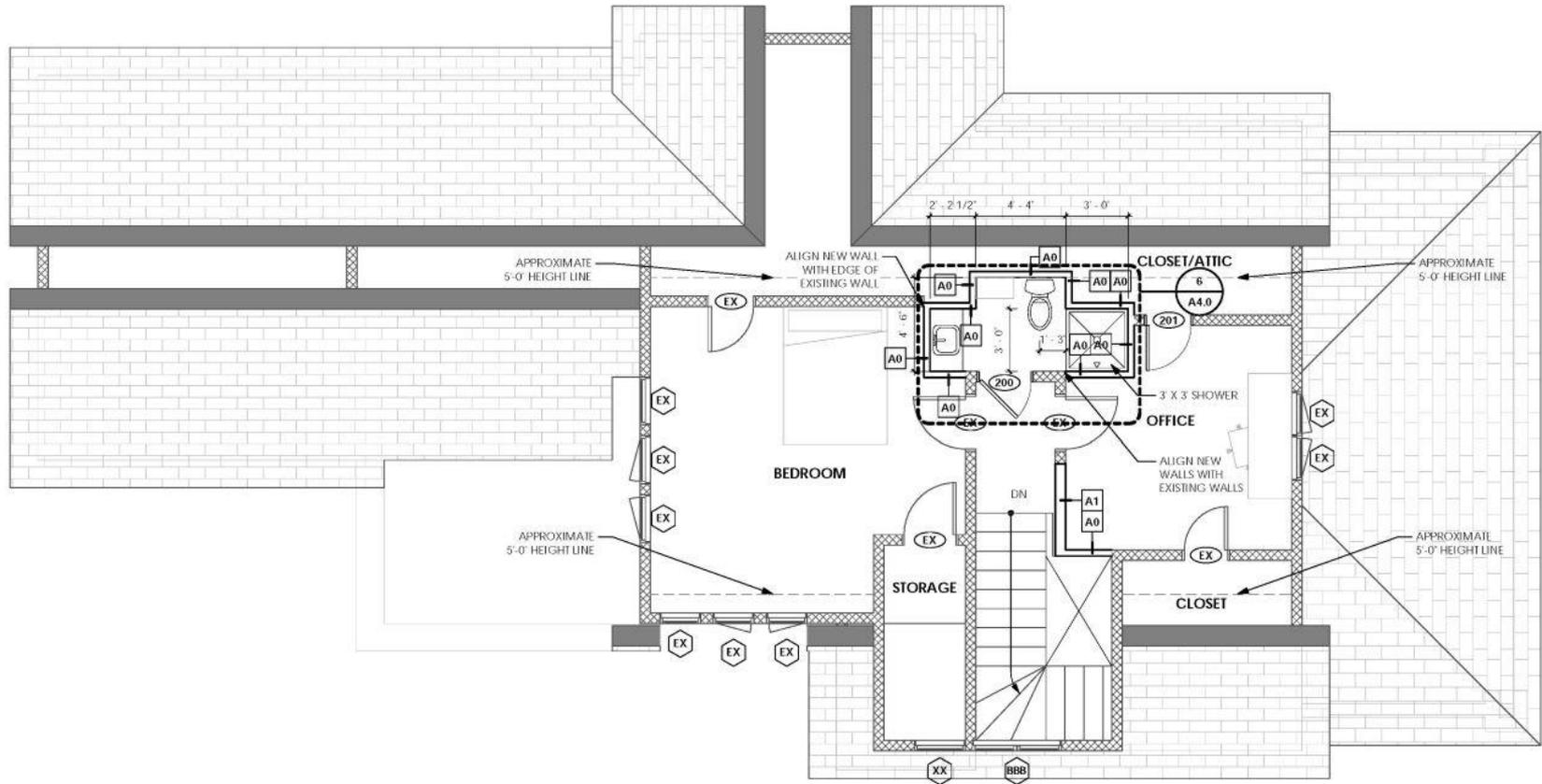


1
A0.1

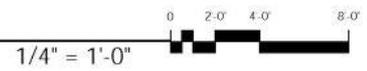
DEMOLITION - 1ST LEVEL PLAN
PHASE 1

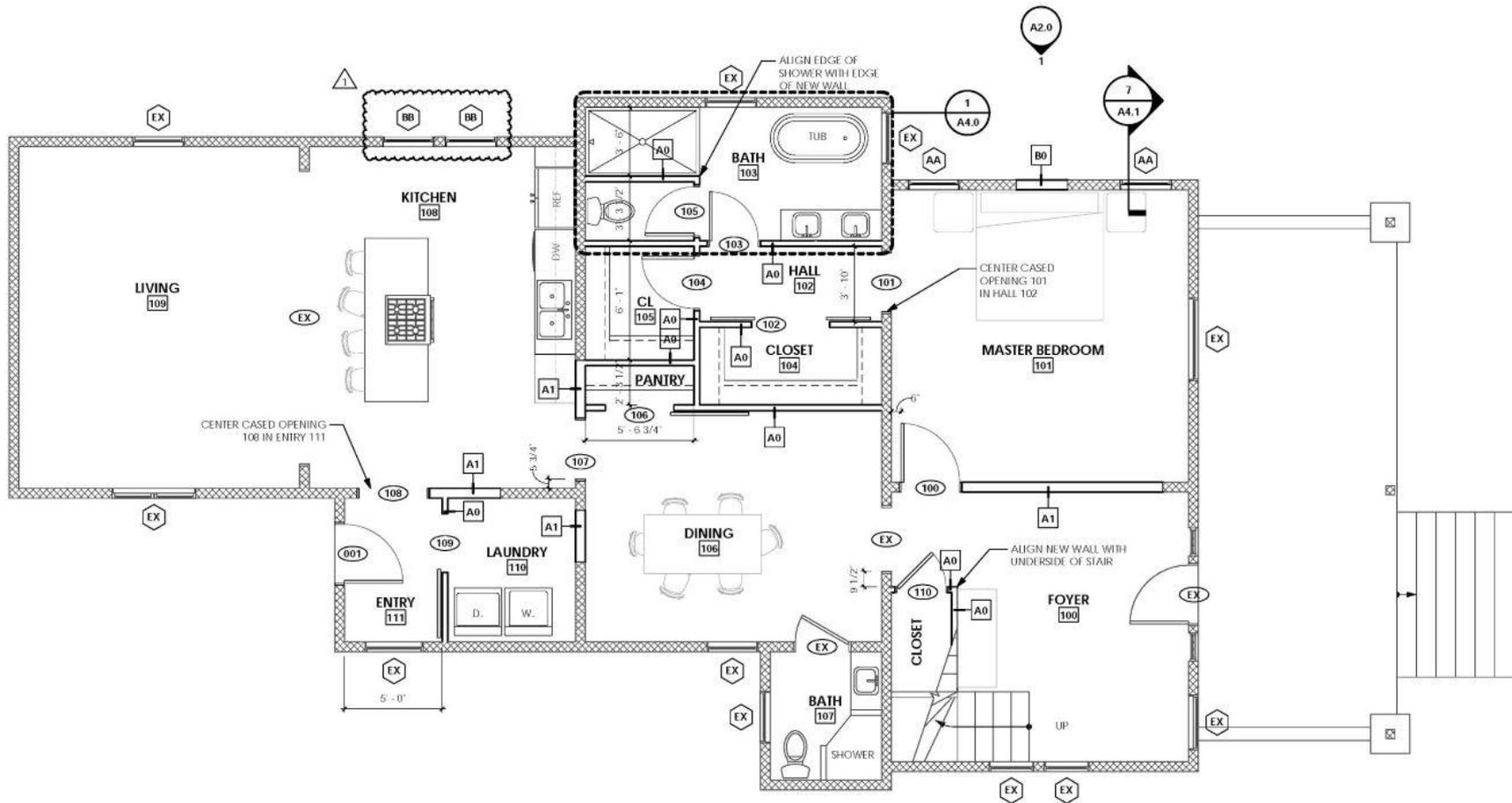
0 2'-0" 4'-0" 8'-0"

1/4" = 1'-0"



2
A1.0
2ND LEVEL PLAN
PHASE 2

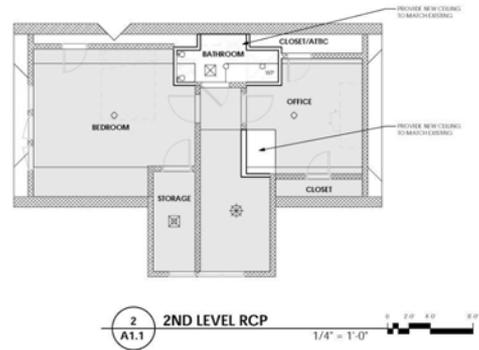
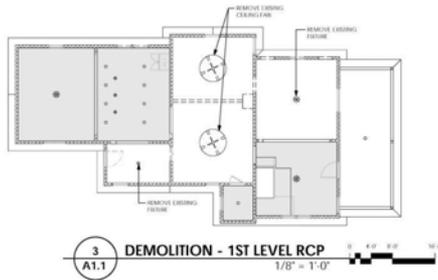




1
A1.0

1ST LEVEL PLAN
PHASE 1

1/4" = 1'-0"



CEILING FIXTURE LEGEND

- RECESSED CAN LIGHT
- ⊙ PENDANT
- EXTERIOR WALL SCONCE
- SLOTTED RECESSED
- RECESSED CAN LIGHT
- RECESSED CAN LIGHT
- ⊗ EXHAUST FAN
- ⊗ EXHAUST FAN
- ⊗ CEILING FAN
- AREA OUTSIDE OF SCOPE



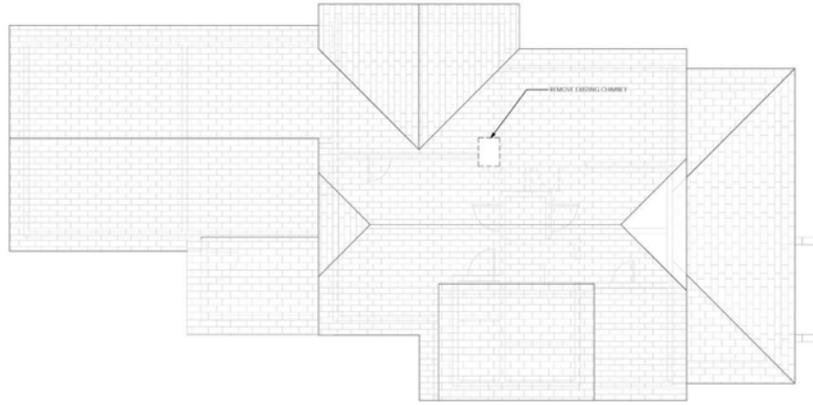
ISSUE	DATE

ARCHITECTURE & DESIGN
208 MANUFACTURERS RD
CHATTANOOGA, TN 37405
SURFACEARCH.COM
423.386.5005

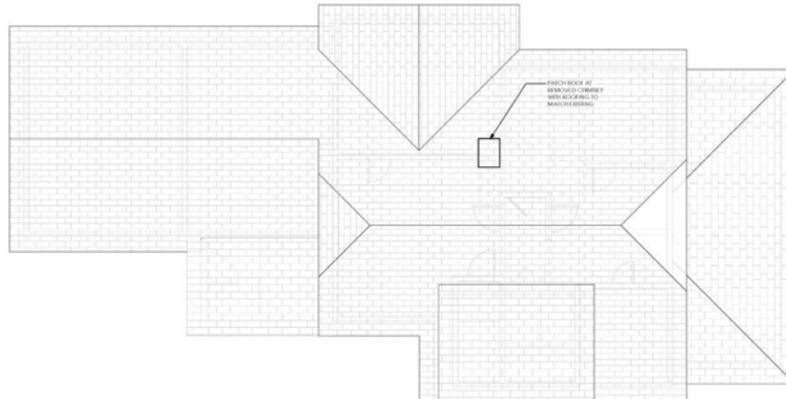
TUDINI RESIDENCE
RENOVATION
4075 ST. ELMO AVENUE
CHATTANOOGA, TENNESSEE 37409

PROJECT #: 2021
DRAWN BY: JLR
SCALE: AS NOTED
SHEET TITLE: REFLECTED CEILING PLAN

A1.1



2
A1.2 **DEMOLITION - ROOF PLAN**
1/4" = 1'-0" 0 2' 4' 8'



1
A1.2 **ROOF PLAN**
1/4" = 1'-0" 0 2' 4' 8'

ISSUE	DATE

SURFACE ARCHITECTURE & DESIGN
ARCHITECTURE & DESIGN
208 MANUFACTURERS RD
CHATTAHOOGA, TN 37408
SURFACEARCH.COM
423 380 9300

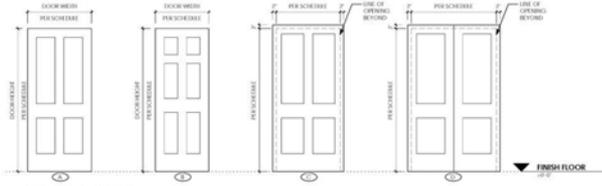
TUDINI RESIDENCE
RENOVATION
4015 ST. ELMO AVENUE
CHATTAHOOGA, TENNESSEE 37409

PROJECT #: 2021
DRAWN BY: JRS
SCALE: 1/4" = 1'-0"
SHEET TITLE:
ROOF PLAN

A1.2

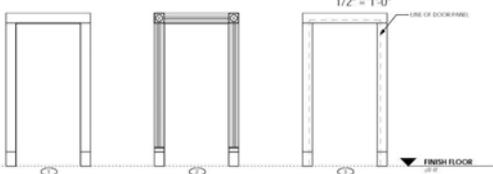
DOOR SCHEDULE

NAME		DOOR		DOOR SIZE		FRAME		JAMB		COMMENTS
TYPE	MATERIAL	DOOR FINISH	DOOR WIDTH	DOOR HEIGHT	TYPE	MATERIAL	FINISH	HEAD	JAMB	
101	D	EMERALD	3'-0"	7'-0"	1	WOOD	PANED	EMERALD	EMERALD	3. BATHROOM (DOOR TO BATH)
102	A	WALNUT	3'-0"	7'-0"	2	WOOD	PANED	WALNUT	WALNUT	3. BATHROOM (DOOR TO BATH)
103	D	EMERALD	3'-0"	7'-0"	1	WOOD	PANED	EMERALD	EMERALD	3. BATHROOM (DOOR TO BATH)
104	A	WALNUT	3'-0"	7'-0"	2	WOOD	PANED	WALNUT	WALNUT	3. BATHROOM (DOOR TO BATH)
105	D	EMERALD	3'-0"	7'-0"	1	WOOD	PANED	EMERALD	EMERALD	3. BATHROOM (DOOR TO BATH)
106	A	WALNUT	3'-0"	7'-0"	2	WOOD	PANED	WALNUT	WALNUT	3. BATHROOM (DOOR TO BATH)
107	D	EMERALD	3'-0"	7'-0"	1	WOOD	PANED	EMERALD	EMERALD	3. BATHROOM (DOOR TO BATH)
108	A	WALNUT	3'-0"	7'-0"	2	WOOD	PANED	WALNUT	WALNUT	3. BATHROOM (DOOR TO BATH)
109	C	EMERALD	3'-0"	7'-0"	1	WOOD	PANED	EMERALD	EMERALD	3. BATHROOM (DOOR TO BATH)
110	A	WALNUT	3'-0"	7'-0"	2	WOOD	PANED	WALNUT	WALNUT	3. BATHROOM (DOOR TO BATH)
111	B	EMERALD	3'-0"	7'-0"	2	WOOD	PANED	EMERALD	EMERALD	3. BATHROOM (DOOR TO BATH)
112	D	EMERALD	3'-0"	7'-0"	1	WOOD	PANED	EMERALD	EMERALD	3. BATHROOM (DOOR TO BATH)



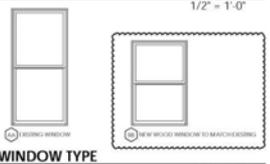
NOTE: DOOR PANEL TYPES TO MATCH EXISTING DOORS ON THIS PROJECT LEVELS

DOOR TYPES



NOTE: FRAME TYPES TO MATCH EXISTING DOORS ON THIS PROJECT LEVELS. TO VERIFY IN FIELD.

FRAME TYPES



WINDOW TYPE

WINDOW SCHEDULE

TYPE MARK	QTY	WIDTH	HEIGHT	FINISH	HANDRAIL	NOTES
AA	2	4'-0"	5'-0"	EMERALD		TO FIELD OF VIEW FROM BATH. MATCH ROOMS. SEE SCHEDULE FOR FINISHES.
BB	2	4'-0"	5'-0"	EMERALD		TO FIELD OF VIEW FROM BATH. MATCH ROOMS. SEE SCHEDULE FOR FINISHES.



7 BATHROOM ELEVATION 5
1/2" = 1'-0"



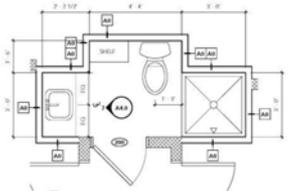
4 BATHROOM ELEVATION 3
1/2" = 1'-0"



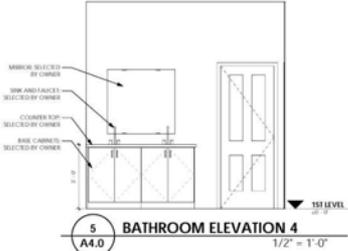
3 BATHROOM ELEVATION 2
1/2" = 1'-0"



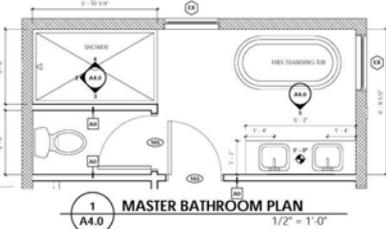
2 BATHROOM ELEVATION 1
1/2" = 1'-0"



6 BATHROOM PLAN
1/2" = 1'-0"



5 BATHROOM ELEVATION 4
1/2" = 1'-0"



1 MASTER BATHROOM PLAN
1/2" = 1'-0"

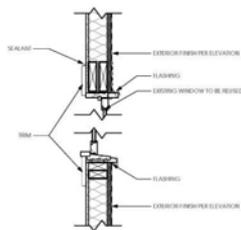
ISSUE	DATE
1	
2	
3	
4	
5	
6	
7	

STUDIO ARCHITECTURE & DESIGN
208 MANUFACTURERS RD
CHATTANOOGA, TN 37405
SURFACEARCH.COM
423.380.5000

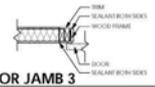
TUDINI RESIDENCE
RENOVATION
4015 ST. ELMO AVENUE
CHATTANOOGA, TENNESSEE 37409

PROJECT #: 2021
DRAWN BY: JJB
SCALE: AS NOTED
SHEET TITLE: ENLARGED PLANS & DETAILS

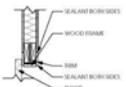
A4.0



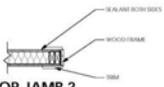
7
A4.1 WINDOW SECTION 1 1/2" = 1'-0"



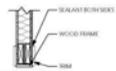
6
A4.1 DOOR JAMB 3 1" = 1'-0"



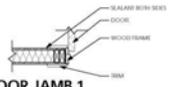
5
A4.1 DOOR HEAD 3 1" = 1'-0"



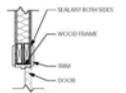
4
A4.1 DOOR JAMB 2 1" = 1'-0"



3
A4.1 DOOR HEAD 2 1" = 1'-0"



2
A4.1 DOOR JAMB 1 1" = 1'-0"



1
A4.1 DOOR HEAD 1 1" = 1'-0"

ISSUE	DATE

STITCHER
ARCHITECTURE & DESIGN
208 MANUFACTURERS RD
CHATTAHOOGA, TN 37408
SURFACEARCH.COM
423 880 5000

TUDINI RESIDENCE
RENOVATION
4015 ST. ELMO AVENUE
CHATTAHOOGA, TENNESSEE 37409

PROJECT #: 2021
DRAWN BY: JAB
SCALE: AS NOTED
SHEET TITLE: DETAILS

A4.1

Application Materials List

Exterior Materials List

Tudini Residence

Siding: Reuse removed existing siding or Replace with Novelty 117 painted to match existing color

Windows: Reuse existing windows where shown – Replacement windows to be All wood windows to match existing where shown on plans.

Roofing: Singles to match existing where roof patching is shown on plans

Relevant Saint Elmo Guidelines:

Case # HZ-20-156 . 4015 Saint Elmo Avenue

Page 38. Section 6.5. Design Guidelines: Chimneys

Page 62. Section 6.27. Design Guidelines: Roof

Page 68. Section 6.33. Design Guidelines: Siding (lap siding, wall shingles)

Page 74. Section 6.41. Design Guidelines: Windows

Staff Report

Elements Consistent with Guidelines:

- Repair and replace existing wood siding
- Original chimney to be removed
- Roof repaired or replaced

Recommended Application Clarification or Changes:

Original window removal and reuse in other openings on side of structure. Window openings changing in size and placement, original windows reused in new openings (North Side of structure) - all wood windows proposed. **Clarify if the movement and addition of windows will or will not be readily visible from the street, as the Guidelines state:**

Original window openings should not be covered or concealed. They should also not be enclosed for the addition of smaller windows. New windows should not be added on the fronts of dwellings but may be added at the rear or sides if not readily visible from the street. The addition of window screens to historic windows is fine as long as the screens are full-view design or have a central meeting rail to match the historic window.

- A. Should be preserved in their original location, size, and design and with their original materials and number of panes.*
- B. Should not be added to primary facades or to secondary facades where readily visible.*
- C. Should be repaired rather than replaced, but if replacement is necessary due to severe deterioration, the replacement should be in-kind to match the originals in material and design.*



Case # HZ-20-156
4015 Saint Elmo Avenue

Applicant Presentation (10 minutes maximum)

Comments by Other Persons

Case # HZ-20-156

4015 Saint Elmo Avenue



Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-20-156
4015 Saint Elmo Avenue

Please raise your hand in Zoom if you would like to speak.





Case # HZ-20-156
4015 Saint Elmo Avenue

**Applicant Response (5 minute maximum)
Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-20-158

503 Battery Place

Neighborhood: Battery Place

Historic Structure: No, vacant property

Description of proposed project:

New construction of a residential structure, with 2 attached garages, site walls & fencing, driveways, river facing deck with a swimming pool, and parking areas.

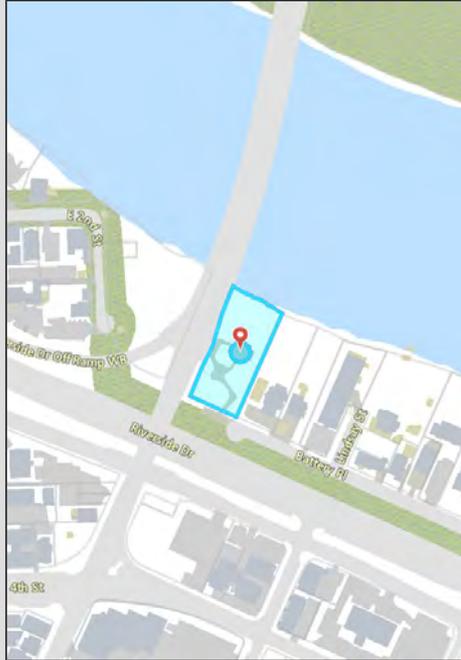


Historic Zoning History:

HZ-20-113: CHZC APPROVED: Demolition of the entire primary structure.

Map Location

Case # HZ-20-158
503 Battery Place



Property Photos

Case # HZ-20-158
503 Battery Place



Property Photos

Case # HZ-20-158
503 Battery Place



Property Panorama Photo with Neighbor

Case # HZ-20-158
503 Battery Place



Property Photos

Case # HZ-20-158
503 Battery Place



Property & Neighboring Photos

Case # HZ-20-158
503 Battery Place



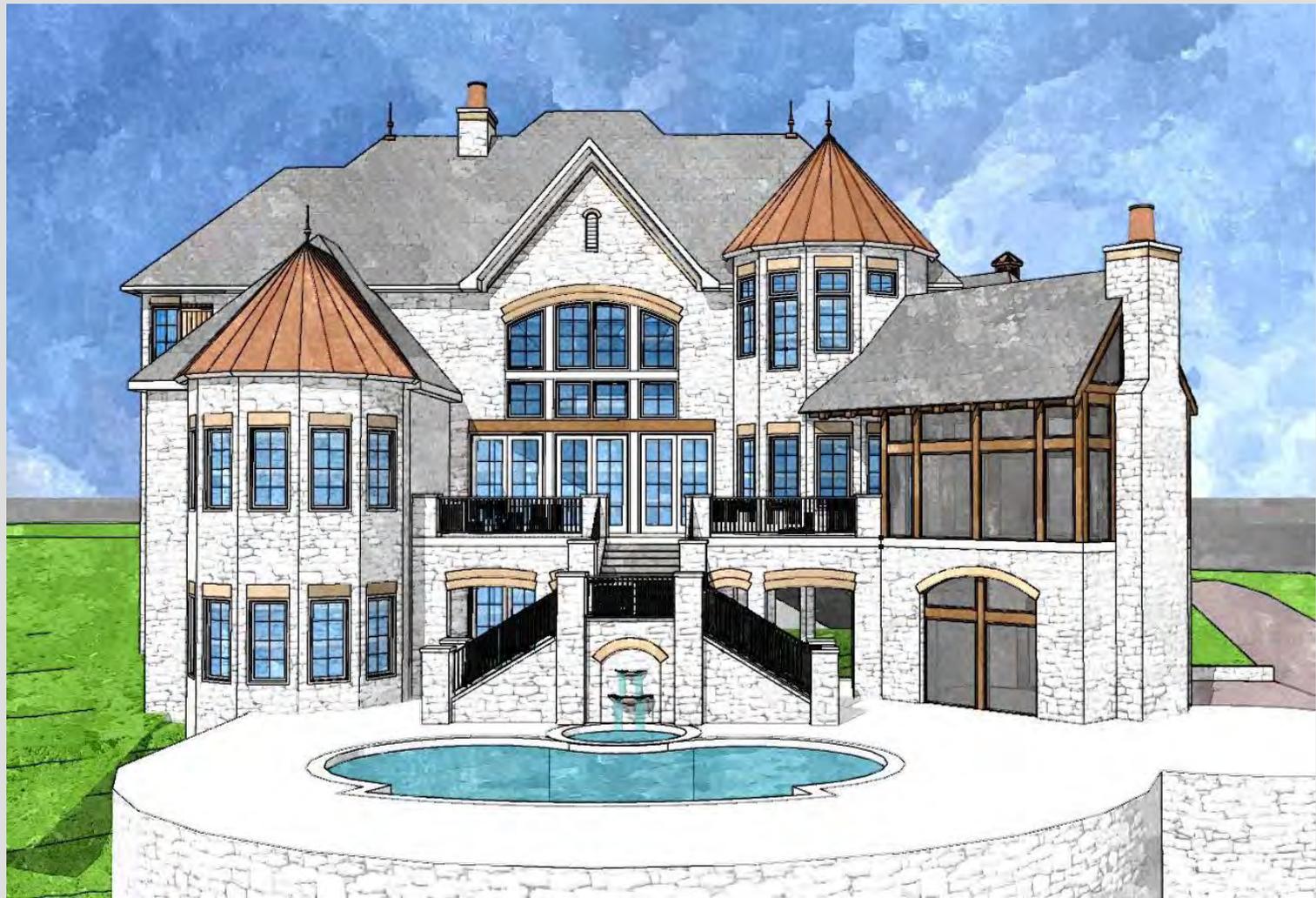
Neighboring Photos

Case # HZ-20-158
503 Battery Place



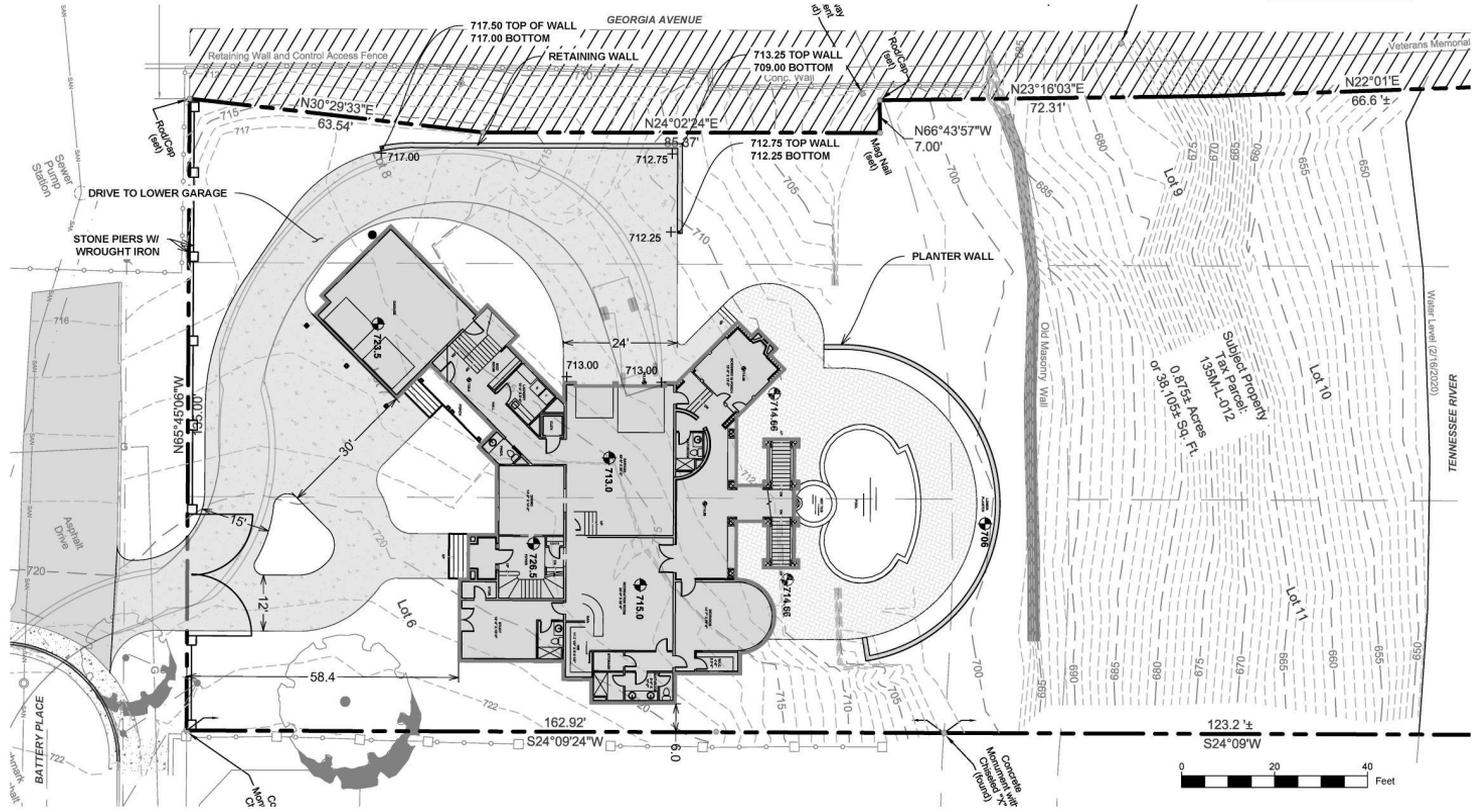
Application Information

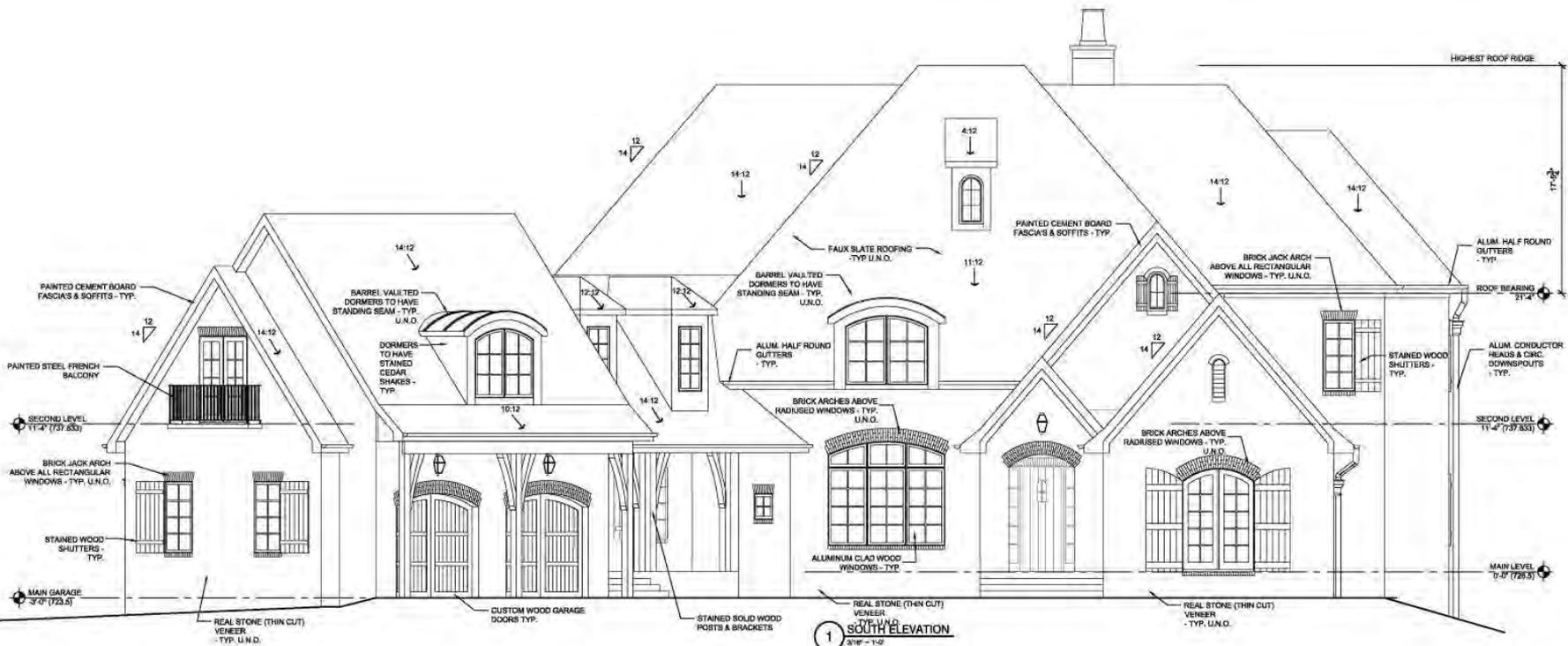




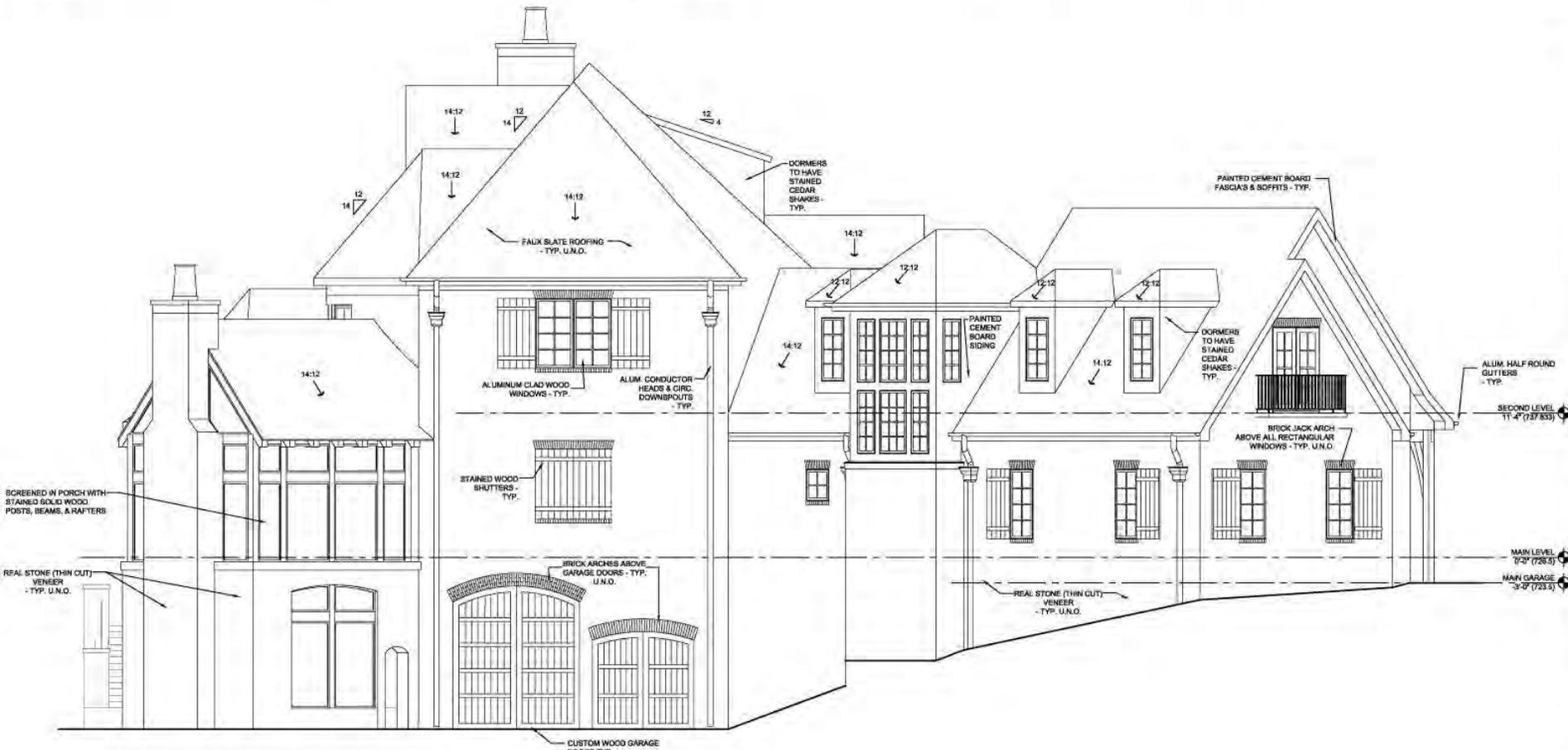
PROJECT NAME: BATTERY PLACE

ASA Engineering Inc. | 09/16/2020





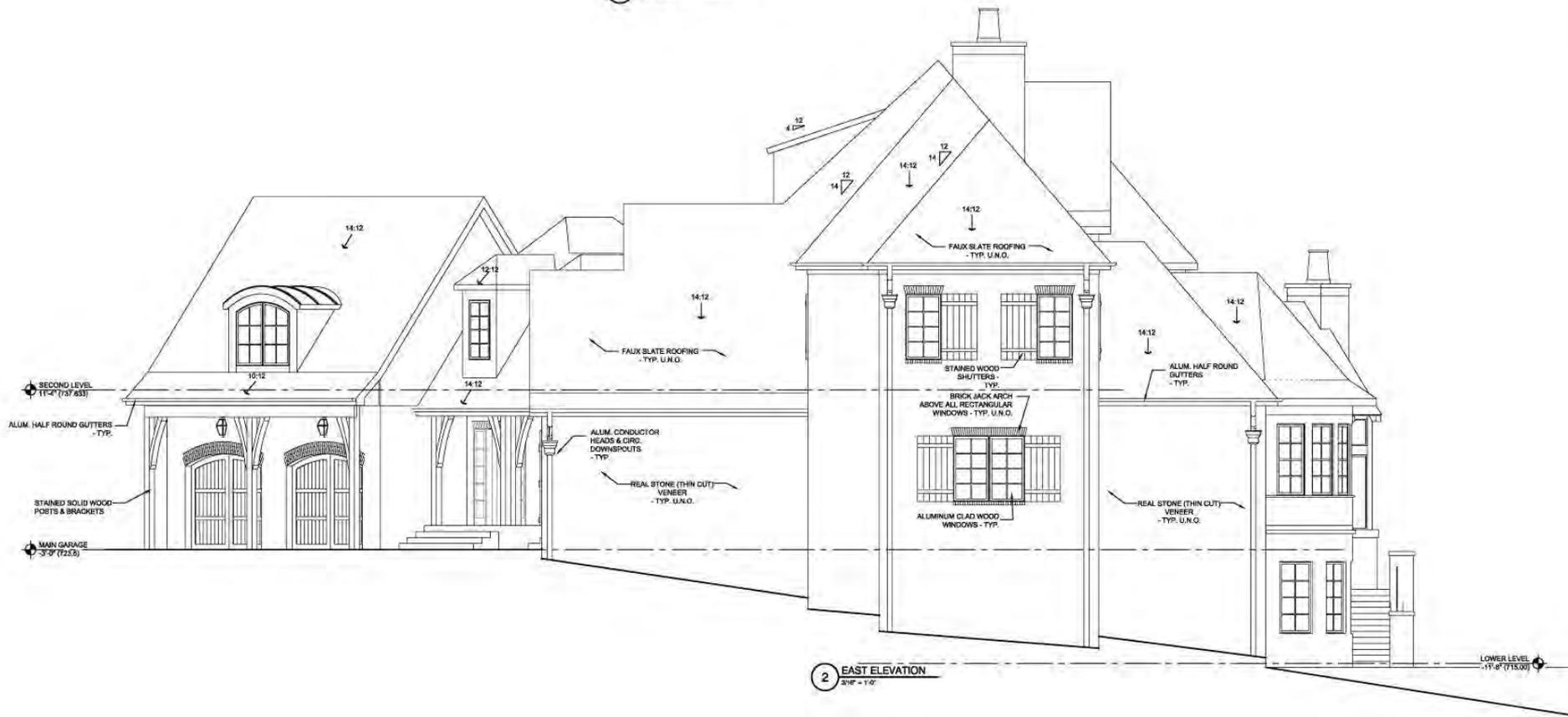
1
 SOUTH ELEVATION
 3/16" = 1'-0"



1 WEST ELEVATION
3/4" = 1'-0"



1 NORTH ELEVATION
3/16 - 1/2



2 EAST ELEVATION
3/16" = 1'-0"

LOWER LEVEL
-11'-0" (715.00)

Application Information

Case # HZ-20-158
503 Battery Place



Application Materials List

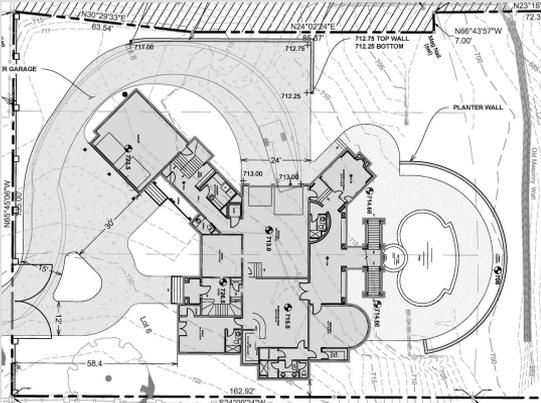
Case # HZ-20-158
503 Battery Place

Materials List:

1. Real Stone Veneer
2. Brick accents at window and door heads and sills
3. Faux slate roofing for the majority of roofing (alternate roofing to be high end architectural asphalt shingle)
4. Standing seam metal roofing at barrel vaulted dormers and turrets
5. Stained or painted cedar shakes at all dormers
6. Painted cement board soffits and fascias
7. Aluminum clad wood windows
8. Stained wood shutters
9. Stained wood posts and brackets
10. Stained custom wood garage doors
11. Aluminum half round gutters and circular downspouts (and conductor heads)
12. Painted steel railing
13. Fencing made of stone piers and painted steel fencing between

New Construction Setback Study

Case # HZ-20-158
503 Battery Place



Relevant Battery Place Guidelines:

Case # HZ-20-158 . 503
Battery Place

4. Guidelines for Site Design	24
4.1 Site Design Issues	24
4.2 Building Placement	25
Setback	25
Spacing	25
Orientation	26
4.3 Driveways, Parking Lots, & Walks	26
4.5 Fences, Walls, & Walks	28
4.6 Appurtenances	30
4.7 Yards & Landscaping	31
5. Guidelines for New Construction & Additions	33
5.1 New Construction	33
General Guidelines	33
Massing/Building Footprint	34
Complexity of Form	34
Directional Expression	34
Orientation	35
Height and Width	35
Scale	35
Roof	36
Openings: Doors & Windows	37
Porches and Porticos	38
Materials and Texture	38
Color	38
Architectural Details	39
Development on the Bluff	39
5.3 New Construction Checklist	42

Staff Report

Case # HZ-20-158 . 503 Battery Place

Elements Consistent with Guidelines:

New construction of a residential structure, with 2 attached garages, site walls & fencing, river facing deck with a swimming pool, and parking areas.

Recommended Application Clarification or Changes:

Driveway. Clarity is needed on material: What is the proposed material(s) for the driveway areas?

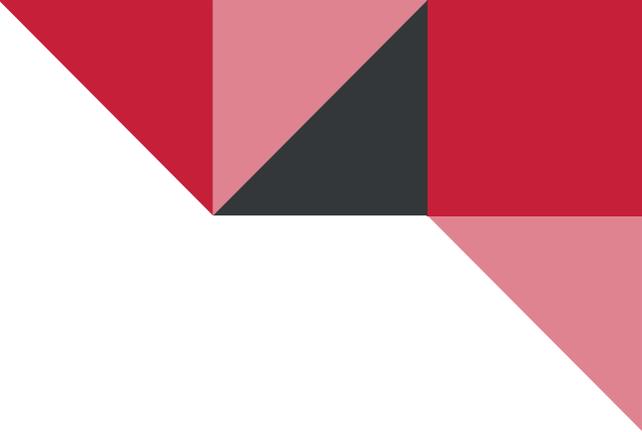
Page 26 of the Battery Place Guidelines states:

Appropriate paving materials for driveways and private walks can help reinforce the character of the district.

Strategically placed landscaped screening can help reduce the visual intrusion of parking areas. ...

8. Retain historic paving materials used in walks and driveways and replace damaged areas with matching materials.

9. Insure that new paving materials are compatible with the character of the area. Materials such as brick pavers, exposed and aggregate or patterned concrete, and flagstones are examples of distinctive and attractive applications. Color and texture should be carefully reviewed prior to installation. Avoid large expanses of bright white or gray concrete surfaces.



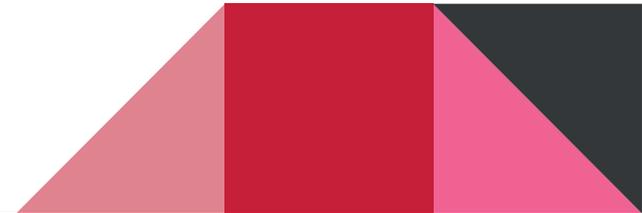
Case # HZ-20-158
503 Battery Place

Applicant Presentation (10 minutes maximum)

Comments by Other Persons

Case # HZ-20-158

503 Battery Place



Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-20-158
503 Battery Place

Please raise your hand in Zoom if you would like to speak.





Case # HZ-20-158
503 Battery Place

**Applicant Response (5 minute maximum)
Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-20-159

5421 Tennessee Avenue

Neighborhood: Saint Elmo

Historic Structure: No, vacant property

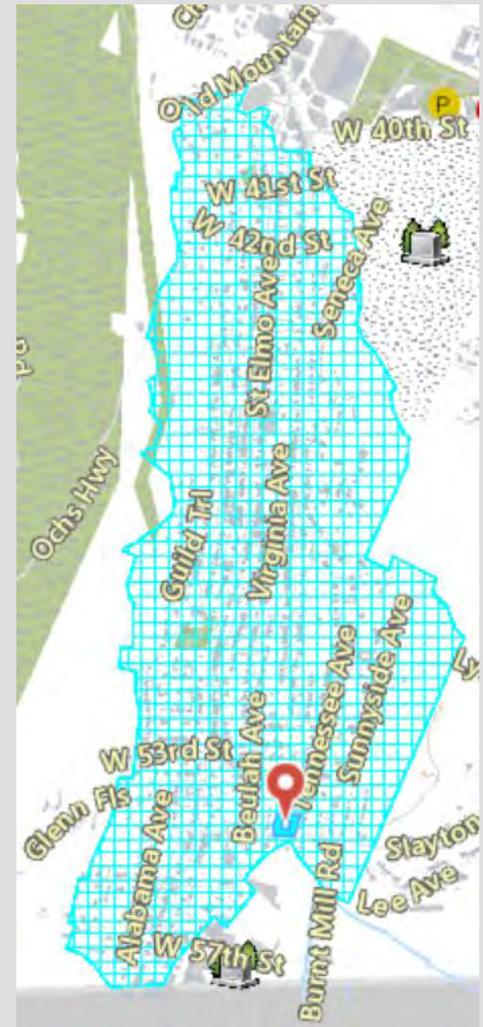
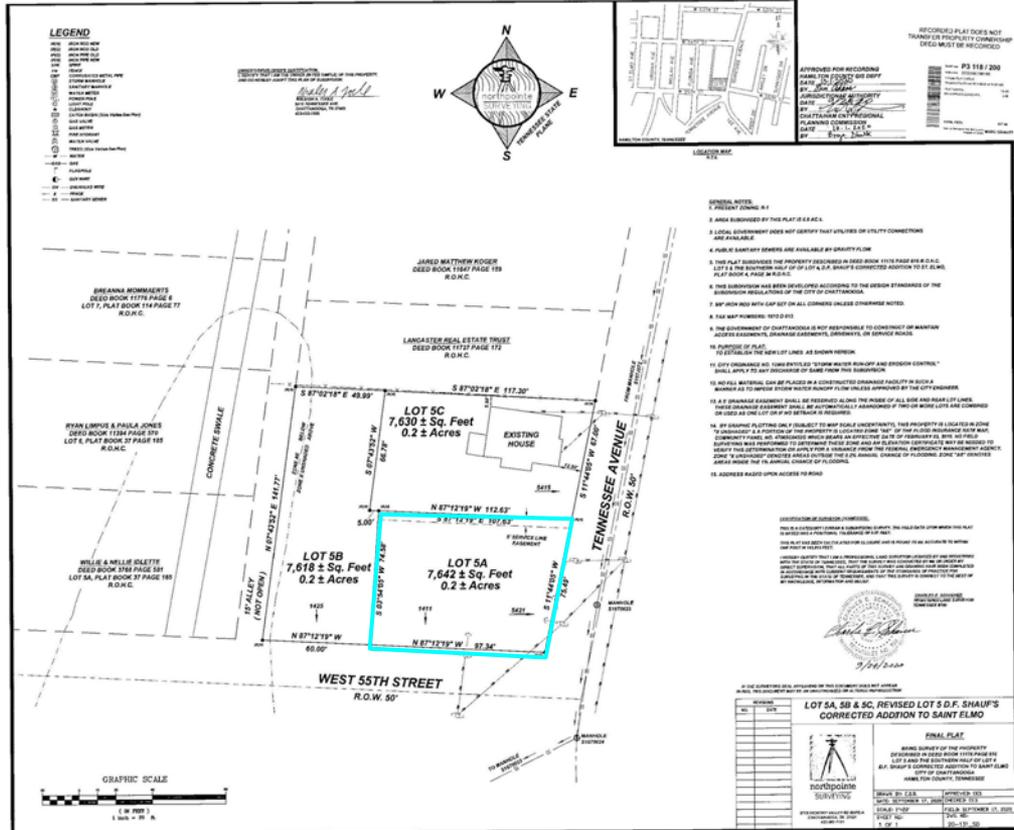
Description of proposed project:

New construction of a primary residential structure, walkway, driveway and parking pad.



Historic Zoning History: None

Map Location . Case # HZ-20-159 . 5421 Tennessee Avenue



Property Photos

Case # HZ-20-159

5421 Tennessee Avenue

PROPERTY PHOTOS



FRONT FROM TENNESSEE AVENUE



REAR SIDE FROM WEST 55TH STREET

Neighboring Photos

Case # HZ-20-159

5421 Tennessee Avenue

NEIGHBORING PROPERTIES

LEFT SIDE



RIGHT SIDE



OPPOSITE STREET SIDE

Application Information



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



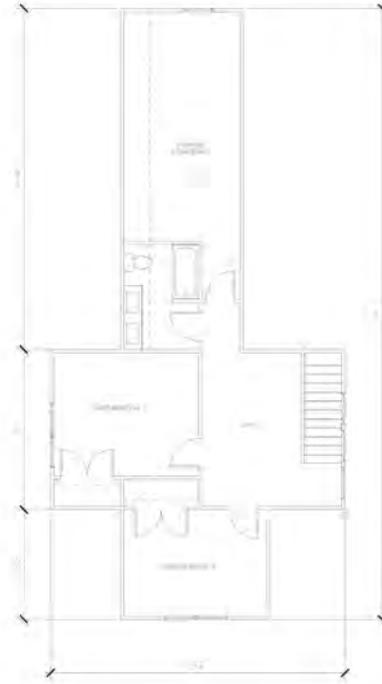
LEFT ELEVATION

SCALE: 1/4" = 1'-0"





1 FIRST FLOOR PLAN
A2.1 1/4"=1'-0"



2 SECOND FLOOR PLAN
A2.1 1/4"=1'-0"

TOTAL CONDITIONED - 1,770 SQ FT
GARAGE - 25,310 FT

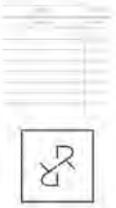


REFLECTIVE @ TENNESSEE

5419 TENNESSEE AVENUE
CHATTANOOGA, TENNESSEE 37409



A2.1



REFLECTIVE TENNESSEE
5419 TENNESSEE AVENUE
CHATTAHOOGA, TENNESSEE 37409

A1.1

LANCASTER REAL ESTATE TRUST
DEED BOOK 11727 PAGE 172
R.O.H.C.



LOT 5B
± Sq. Feet
± Acres

PROPERTY ADDRESS:
5419 TENNESSEE AVENUE
CHATTANOOGA, TN 37409

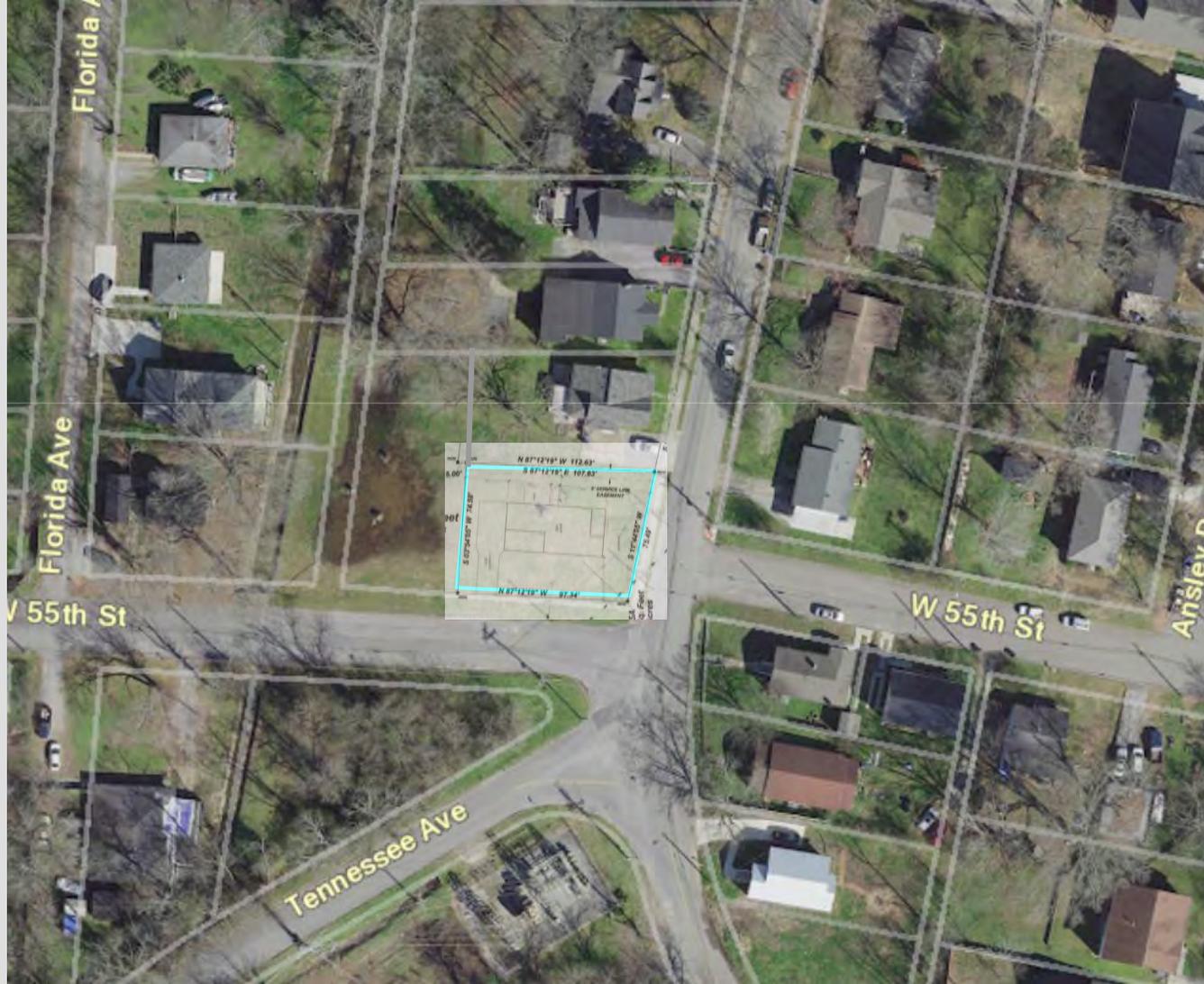
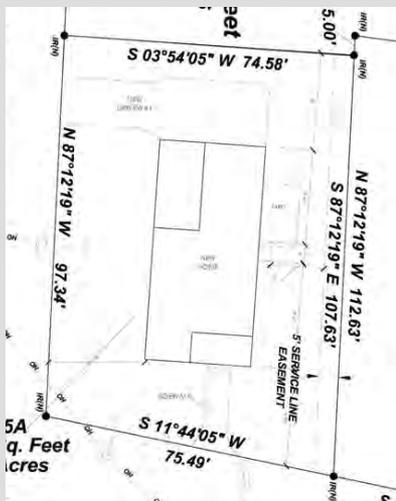
EXTERIOR MATERIALS

LAP	ALL MATERIALS TO BE HARDIE BOARD - 5" PLANK
TRIM, SOFFITS	ALL MATERIALS TO BE HARDIE BOARD - 4" TRIM BOARD
POSTS	HARDIE PAINTED
PORCH CEILING	HARDIE PAINTED
FRONT DOOR	SINGLE DOOR WITH SIDE LITES - WOOD
GUTTERS	SEAMLESS ALUMINUM
ROOFING	ARCHITECTURAL SHINGLE / METAL ACCENTS
COBELS	WOOD *TO BE PAINTED*
PORCH TOPS	CONCRETE
SHUTTERS	LOUVERED BERMUDA STYLE SHUTTERS *TO BE PAINTED*



New Construction Setback Study

Case # HZ-20-159
5421 Tennessee Avenue



Relevant Saint Elmo Guidelines:

Case # HZ-20-159 . 5421 Tennessee Avenue

Page 41. Section 6.9. Design Guidelines: Driveways and Paving

Page 52. Section 6.22. Design Guidelines: New Construction (New Building)

A. *Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:*

1. *Shape*
2. *Scale (height and width)*
3. *Roof shape and pitch*
4. *Orientation to the street*
5. *Location and proportion of porches, entrances, windows, and divisional bays*
6. *Foundation height*
7. *Floor-to-ceiling heights*
8. *Porch height and depth*
9. *Material and material color (foundations, brick/frame dwellings, windows)*
10. *Details and texture*
11. *Placement on the Lot*

B. *Of primary buildings, while blending in with adjacent buildings, should not be too imitative of historic styles so that new buildings can distinguished from historic buildings.*

Page 58. Section 6.24. Design Guidelines: Parking Areas

Page 67. Section 6.32. Design Guidelines: Sidewalks and Walkways

Page 74. Section 6. 41. Design Guidelines: Windows

Staff Report

Case # HZ-20-159

5421 Tennessee Avenue

Elements Consistent with Guidelines:

Walkway, driveway and parking pad.

Recommended Application Clarification or Changes:

Page 52. Section 6.22. Design Guidelines: New Construction (New Building)

...

3. Roof shape and pitch - The pitches and shapes of this roof appear to be typical of St Elmo, but the exact slope and pitch numbers are not marked on the application. **Are the slopes and pitches of the proposed structure within the recommended “minimum of 6:12 to a maximum of 12:12 (6:12 refers to six inches of rise to 12 inches of run in measuring slopes)” (Page 53. St Elmo Guidelines)?**
5. Location and proportion of porches, entrances, windows, and divisional bays - **What are the dimensions of the proposed porch columns? Per page 54 of the Guidelines, “Columns should be a minimum of six inches and a maximum of ten inches square or in diameter.”**
6. Foundation height - **What is the proposed foundation height at the front of the structure? Per page 54, “Height of foundations should be a minimum of 1 foot, six inches and a maximum of two feet above grade”.**
10. Details and texture - **What is the depth of the roof eaves? Per page 55 of the Guidelines, “Roof eaves should have a minimum depth of eight inches.”**



Case # HZ-20-159
5421 Tennessee Avenue

Applicant Presentation (10 minutes maximum)

Comments by Other Persons

Case # HZ-20-159

5421 Tennessee Avenue



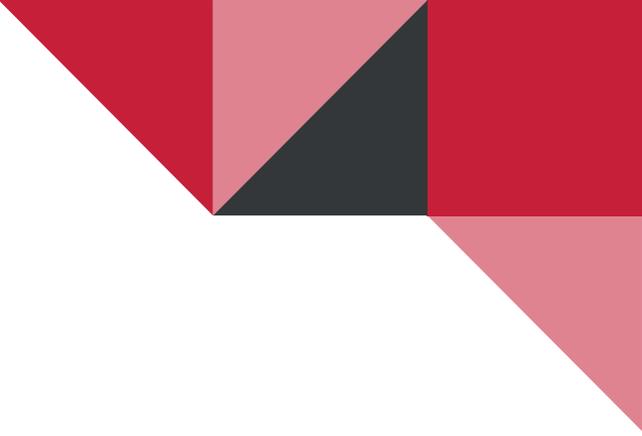
Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-20-159
5421 Tennessee Avenue

Please raise your hand in Zoom if you would like to speak.





Case # HZ-20-159
5421 Tennessee Avenue

**Applicant Response (5 minute maximum)
Historic Zoning Commission Discussion
Motion and Vote**

Other Business:

None

Final Information

- A **Certificate of Appropriateness** will be issued for approved projects within a week of the hearing.
 - For specific historic zoning questions, please reach out to: **Sarah Weeks Robbins**, Development Review Planner, at 423.643.5842, srobbins@chattanooga.gov
 - For general information regarding the application submission or Commission Procedure, please reach out to: **Levi Witt**, Historic Planning and Zoning Administrative Support, at 423.643.5878, lwitt@chattanooga.gov
- Next meeting date: November 19, 2020 (application deadline – tomorrow, October 16, 2020 at 4 p.m.)
- **If your case is deferred OR if you have conditional items to bring back before the Commission, you MUST contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.**



Adjourn

Motion and Vote